

**From:** [Elle Abel](#)  
**To:** [haveyoursay](#)  
**Subject:** [EXTERNAL] 10 year plan submission  
**Date:** Friday, 3 May 2024 9:37:21 am

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Hi You need to take this submission seriously.

This a submission to do.with disability and the lack of care and attention given to this community and also.the lack of understanding from.you as a council.and the council staff. First things first we feel isolated and not valued. You dont think of us and you dont consult with us and.some people think invisable disability is not there or have no idea how to deal.with it. We need staff trained up in your services how to.support and accept.disabled and not throw us out of places.because we are not doing what you think is correct. We dont feel.welcome.or.want to.come.and places like libraries should available to all. As for your parks policy a.plant will.keep.people.safe no way you need to fence parks you need keep.our community safe. We need parks that anyone can use most are not suitable for disabled. I have example of a park outside of Wellington that is working. We need toilets to change bigger children/adults in some dont ever get out of nappies and at times I change my child on carpet as the toilet floor is cold. I have an example of a toilet like this but hoping to get photos of it to show you. We need more disabled parks to please. We need a disabled advisory group to that you can feed into and ask for advice. We need a dedicated disabled officier who is disabled who can [look.at](#) things and work for our community. We need a dedicated councillor that works on disability as well.

Excuse any spelling or grammer I have a learning disability part of me.

Yes I want to do an oral submission on this please.

Regards

Elle Abel

**From:** [Elle Abel](#)  
**To:** [haveyoursay](#)  
**Subject:** [EXTERNAL] 10 year plan submission  
**Date:** Thursday, 2 May 2024 8:47:25 pm

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This is a serious submission that you as a council need to take notice of first of all this not just written by me Elle Abel but by her Daughter [REDACTED] who is [REDACTED] and in year [REDACTED]

Re Youth Council

We have noticed no Youth Council in fact its been missing for since last term of council. We also know that that some people at council dont want it back but that does not stop us from submitting or for fighting for something that we belief give us the best representation for Youth and to be honest you trying to get leaders in from schools to talk to them yes thats helpful but to be honest that is not always talking to the youth that want to be heard and even know what the council does. [REDACTED] feels that council at this stage does not care about her voice and we got told to fill out surveys to sorry thats not the same as having a group of likeminded Youth working together for the common good of youth and feeding their voice on a regular basis to council so they are hearing what is going on for them and what they need from you as a council. You can help them by starting this up as soon as possible. Now I was told to that youth councils dont work well we have done research and we have found out that they do work and around New Zealand there is alot of them working and feeding their voice into council on a regular basis They range from 12 years to 25 years these years are important for them they are future voters and voters and also they are future mayors and councillors and leaders of our city New Zealand and the world. They all have different needs from different cultures, beliefs, genders and also some of them have disabilities to they all want us to do better as a city and their voice is vital in this. [REDACTED] said she wants to use the old taita library building its been not been used for a youth hangout and meeting area depending on what it costs to fix it up but that was just one idea. She also values team work and talking to others in her school and other networks about what the youth of Lower Hutt from the council. We hope that this does not fall on deaf ears and not actioned but also you should know that she has a younger sister who is [REDACTED] now and she wants to join to and she wants to be the mayor one day ask Campbell Barry about that one she wants to be able to join the youth council when she turns [REDACTED] herself so time is ticking. I would say to that when I was their age I would have loved a youth council to be part of to be able to have a voice and say on things .

Please read and take us seriously

Kind Regards

Elle Abel and [REDACTED] years)

**From:** [Lena Aeberli](#)  
**To:** [haveyoursay](#)  
**Subject:** [EXTERNAL] Hutt city council long term plan submission  
**Date:** Tuesday, 30 April 2024 6:51:58 pm

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Dear councillors,

I'm a ratepayer in lower Hutt and believe that the Petone wharf is an important Hutt valley icon, a place where family and friends meet, fish and swim. Please do not demolish the wharf!

Kind regards,  
Lena Aeberli



# All About Kitchens & Bathrooms

*Bespoke By Design*

Submission on Hutt City Council Long Term Plan 2024-2034

From: Megan & Wayne – Business on Jackson Street, Panel Solutions Ltd. Trading as All About Kitchen and Bathrooms.

Contact details: Phone: [REDACTED]

Email: [REDACTED]

## **Paid Parking in Petone**

We understand the need to look at options to gather revenue.

But we are opposed to the introduction of paid parking in Petone. We have been on Jackson Street as a small business for 8 years and we contribute to the unique character of our suburb and provide employment opportunities for local tradies. Implementing paid parking would discourage potential customers from patronizing our business along with others on the street. This would inevitably lead to a decline in revenue for small businesses and the flow on effect will be a reduction in staffing.

With increased insurances, rents, and reviews due later this year we will have to consider whether we can afford to stay on the street. Whilst our landlord has been generous there is a limit to that generosity. We are not alone in our views as many other businesses on the street are boarding. Do we stay or do we go? The cost to unlock the doors is escalating and we see that the introduction of paid parking will be the final straw. Through the petition that the businesses on the street have supported all customers have said it would be a large deterring factor in whether they would continue to shop in Petone.

Please increase the rates if you have to but don't put in parking meters and if Parking meters are coming why was the decision just to do Petone?

Thank you for listening.

Regards

Megan & Wayne Toms

All About Kitchen and Bathrooms



# Submission on Hutt City Council 2024/34 Long Term Plan

**Name:** Sylvia Allan

**Address:** [REDACTED]

**Contact:** [REDACTED]

Thank you for the opportunity to make this submission. As I will be overseas at the time hearings are to be held, I do not wish to be heard.

## **General points**

Clearly the Council and the community is facing tough times. It is extremely unfortunate that the previous government's 3 Waters intentions have not been followed through. I fully supported the Council's support for those processes.

I do not oppose the level of rate increase proposed. It will be extremely difficult for some people, but local government has major responsibilities which it cannot avoid. It is really important that the Council continues to be fiscally careful and does not do things like previous Councils such as waiving resource consent fees or development levies for developers.

## **Consultation document**

The consultation document, to put it simply, is poorly-formulated, undemocratic in that the response options are not clearly separable, and it will be extremely difficult to analyse responses in any credible way.

What the community is being asked about is very unbalanced. Q1 gives two very broad options relating to asset management with a community debt implication of somewhere between \$573M and \$1,400M. Q2 has a debt implication of \$0 to \$10.8M. Q3 has no debt implication and either no rates impact or a rates impact of \$19 per average household. For Q4, both options have a beneficial impact on Council debt (over previous plans) and a minor rates impact.

On what basis have these issues been brought to the public to comment on? There seems no logic to requesting comment on three very minor budget issues, when comments on other major projects (such as the Cross-Valley link) are not being sought. Three of the four questions relate basically to matters in the "noise" in financial management terms. Did someone decide these were good issues to distract citizens with? It is difficult not to be cynical about the way this consultation is being carried out.

## **Water Services**

This is an extremely complex set of issues. I agree with the Option 1 approach here, as it will encourage prudent use by consumers, and leave opportunities for central government to pick up the slack later in the 10-year period.

## **Food organics**

I do not support the introduction of a separate food organics waste collection system. I support Option 2. Our household's food waste consists of the occasional bone which goes out in the rubbish (which involves our small bin going out about once a month). We have the monthly green waste collection that also takes citrus and onion peels that does not go into the worm farm. We know many other households like ours that similarly compost the very minor food waste from their households. This is a "nice in theory" proposal which needs a rethink. It should certainly not be a compulsory cost on all households.

## **Rates Relief for Low Income Households**

I support Option 1 with this. I don't think that the fact that the option is not available to renters is an issue. Very few renters pay rates directly, so it is unfortunately left up to the market to sort out affordability. That is no reason not to support home-owners who need some rates support.

## **Petone Projects**

Page 11 of the document says the Council is focussed on enabling a liveable city and vibrant neighbourhoods, amongst other things. Looking back over the past 3 years (pages 6 and 7 of the document) it is obvious that other parts of the city have had specific, and often very expensive projects delivered – Days Bay Wharf, Naenae Pool and Fitness Centre, new library in Maungaraki, Wainuiomata Town Centre Upgrade, Sports Centre in Waiwhetu. In 2018, Rona Bay Wharf was rebuilt. These investments have made some parts of the City more liveable and vibrant. Petone and Moera have been left to languish with no projects over that period. Our area is now looking rundown and uncared for in contrast with most parts of the Hutt Valley. Our part of the City is less and less liveable, with severe traffic congestion much more frequent and poor maintenance of areas that used to be better maintained especially round our town centre and along the Esplanade. The wharf is a shocking indictment of Council neglect. Our liveability has gone backwards, and our neighbourhood is in danger of becoming far from vibrant.

That the two Petone asset options both have a beneficial impact on Council finances over previous years' intended budgets is of great concern. This suggests that Petone residents have been caught by timing and will now have to suffer for it. Why do Petone projects have to disproportionately assist the wider community to keep the budget under control? Particularly when we are already "behind" in terms of Council support in our area? Extremely modest costs are involved in the three assets put forward which the community is being asked to judge (\$18.4M or \$20M over 10 years – less than the cost of buying 2 or 3 houses in our area each year).

Further, why is the whole of the Hutt being asked to comment on this very minor component of rates? Why not limit these considerations to those who have a stake in the local community? Unfortunately, any work that has led to the options has not involved the community – there is a suggestion that there has been extensive consultation to get to this point. There has not. It appears that only 3 or 4 locals have been involved. The so-called

consultation reports are highly unprofessional in that they don't reveal who has attended the few workshops involved – the Council should not have accepted this poor-quality work.

The information on the library suggests that a “resilient, multi-purpose facility” set in an improved “heart” will be forthcoming for \$10M. This is probably misleading and probably allows for no more than an interim patch-up while planning for something which may be delivered beyond the 10-year plan. Option 2 is just an interim patch-up with no future planning. The Council really needs to get some local leadership and brains involved in thinking ahead for this very important community resource, and make a proper commitment instead of delaying and delaying.

The proposed demolition of Petone Wharf has come as a huge shock to the community. As can be seen from the financial analysis, it is a complete turnaround from the last LTP and the Annual Plan. It is difficult to know where the driver for this has come from, given the Council's own decision to repair earthquake damage less than 3 years ago. This asset is hugely important to the Petone community and work to reopen it is clearly possible and affordable. Past costings appear to have been inflated to cover risk and very high contingencies.

The analysis given in the consultation document is also incorrect in that it suggests that the structure puts the community, the environment and marine life at risk. Where is the basis for these throw-away and unprofessional comments? They are so baseless that they bring the Council into disrepute.

The suggestion of “memorialising” the wharf is unacceptable, particularly when it comes at a cost which is money that could be spent on its repair.

I am opposed to both Petone asset options in the consultation document. Petone Wharf needs to be prioritised for urgent work to reopen it for the benefit of the many users that it used to have. People have seen this aspect of their community assets (which in the past have contributed strongly to the quality of life of many Petone and Lower Hutt people) deteriorating, contrary to the stated intention of the Council in this LTP.

Finally, not included in the consultation document is the question of paid parking in Petone. I oppose any suggestion of introducing paid parking. Jackson Street has a special rating area already, which is based on the effective partnership between the Council and local businesses through the Jackson Street Programme. This recognises both the vulnerability of the strip shopping, and the value of a historic main street in the urban fabric of the lower Hutt valley. Introducing paid parking will undermine the business activity that holds the precinct together. It adds to the cost that local businesses are carrying through the special rating area, and would seem to be unfair in that context. It will have a social cost in that local people will have more expensive access to facilities that they need (library, chemist, doctors, dentists) particularly people with impaired mobility. The cost of installing and operating paid parking means that the yield from parking fees is likely to be small in net terms. The proposal compounds the unfairness of the Petone asset intentions in the LTP.



# Submission on Hutt City Council 2024/34 Long Term Plan

**Name:** Iain Allan

**Address:** [REDACTED]

**Contact:** [REDACTED]

[REDACTED] for the opportunity to make this submission. I do not wish to be heard.

## **Petone Wharf**

I have lived in Petone all my life, almost 42 years. Petone Wharf has always been an important thing for me, walking along it, seeing it from a distance. When I was young myself and my friends would fish there, it was a great learning experience, and it is a shame for local kids to not be allowed to enter.

I strongly oppose both proposals in the LTP to demolish Petone Wharf. I even more strongly support the proposal to repair the Wharf to a safe and completely useable standard. Clearly this can be achieved at a similar cost to that earmarked for demolition of the Wharf in the LTP. Council neglect of the Wharf has been obvious in recent years, especially when compared with the large amount spent on rebuilding Rona Bay wharf to an unnecessarily high standard. The suggestion of “memorialising” the wharf is unacceptable, particularly when it comes at a cost which is money that could be spent on its repair. This is an insult to the people of Petone.

The proposed demolition of Petone Wharf has come as a great shock to the community. As can be seen from the financial analysis, it is a complete turnaround from the last LTP and the Annual Plan. The Wharf is hugely important to the Petone community and work to reopen it is clearly possible and affordable. Past costings appear to have been inflated to cover risk and very high contingencies.

## **Paid Parking**

I oppose any suggestion of introducing paid parking. Jackson Street has a special rating area already, which is based on the effective partnership between the Council and local businesses through the Jackson Street Programme. This recognises both the vulnerability of the strip shopping, and the value of a historic main street in the urban fabric of the lower Hutt valley. Introducing paid parking will undermine the business activity that holds the precinct together. The cost of installing and operating paid parking means that the yield from parking fees is likely to be small in net terms.

## **Rate Increase**

I do not oppose the level of rate increase proposed. It is important that the Council continues to be fiscally careful and does not do things such as waiving resource consent fees or development levies for developers.

## **Water Services**

This is an extremely complex set of issues. I agree with the Option 1 approach here, as it will encourage prudent use by consumers, and leave opportunities for central government to pick up the slack later in the 10-year period.

### **Food organics**

I do not support the introduction of a separate food organics waste collection system. I support Option 2. Many households in the area compost the very minor food waste from their households. This is a “nice in theory” proposal which needs a rethink. It should certainly not be a compulsory cost on all households.

### **Rates Relief for Low Income Households**

I support Option 1. I don't think that the fact that the option is not available to renters is an issue. Very few renters pay rates directly, so it is unfortunately left up to the market to sort out affordability. That is no reason not to support homeowners who need some rates support.

## **Submission on Hutt City Council 2024/34 Long Term Plan**

**Name: William Allan**

**Address:** [REDACTED]

**Contact:** [REDACTED]

Thank you for the opportunity to make this submission. I will be overseas at the time hearings are to be held, so I do not wish to be heard.

### **Petone Wharf**

I strongly oppose both proposals in the LTP to demolish Petone Wharf. I even more strongly support the proposal to repair the Wharf to a safe and completely useable standard. It is clear that this can be achieved at a similar cost to that earmarked for demolition of the Wharf in the LTP. Council neglect of the Wharf has been obvious in recent years, especially when compared with the large amount spent on rebuilding Rona Bay wharf to an unnecessarily high standard. The suggestion of “memorialising” the wharf is unacceptable, particularly when it comes at a cost which is money that could be spent on its repair. This is an insult to the people of Petone.

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I support Option 1. I don't think that the fact that the option is not available to renters is an issue. Very few renters pay rates directly, so it is unfortunately left up to the market to sort out affordability. That is no reason not to support homeowners who need some rates support.

# HCC Long-Term Plan 2024-2034 Consultation

Karen Arraj-Fisher

[REDACTED], Petone  
[REDACTED]  
[REDACTED]

**I do wish to speak to Councillors about my submission**

## **PETONE ASSETS**

### **Library: I agree with option 2**

It would be amazing to have a new purpose-built facility, however, **I don't believe we actually need a new building:**

- with a very good refurbish of the existing building, the whole building will be able to be used
- a change in the floor layout, especially the atrium area, could give the library more space
- the heritage centre needs to stay in Petone but it could be in a different part of the Petone Library building and it could show some fantastic displays
- there is a need for at least 2 more toilets inside the building
- I don't believe there needs to be lots of meeting rooms in the library building as the Petone Community House is across the road from the Library and has different sized rooms for hire

I believe this could save millions of dollars, which could then go towards other Petone assets.

### **Wharf: I don't agree with either option**

**I want to see Petone Wharf being repaired so that it can be used again.**

I can't see the point of spending a minimum of \$6 million to demolish it when all the options to repair it haven't been explored yet. My perception is that the Council Officers have had a narrow-focus and have not investigated all the options to repair the wharf. One of those options they could have explored before the Long-Term Plan Consultation Document went out is actually based in Petone.

What really irks a lot of people is that the Hutt City Council rebuilt a wharf in Rona Bay a number of years ago when it was decided by Council that their wharf would not be rebuilt (how did that happen?!), which set back the timing for the Petone Wharf to be refurbished. How is this fair?

### **Grandstand: I don't agree with either option**

**I want to see Petone Grandstand strengthened so it can be used again.**

Another Petone asset has been neglected for many years to the point where Council Officers recommend it be demolished. Again, my perception is one of narrow focus by Council Officers. For many years (I think it's 6 or 7 years) there have been "enter at your own risk" signs on the grandstand, and many a time the grandstand has been fairly packed with people all entering at

their own risk. We have done this because we support sport clubs in Petone (or schools for sports day, etc, etc) – it's the best view from there, plus shelter from bad weather. We've been told for many years that the roof needed strengthening but have never seen any action from Council on this. Suddenly, in the middle of the 2023 rugby season, the seating part of the grandstand was closed after the Council got new information.

If the whole seating section collapsed in an earthquake, surely the changing room facilities would crush under its weight? Funny how the changing room facilities are allowed to stay open, with the players + referees (including Mayor Barry) using them every week!

I'd like to see more options for strengthening the roof and leaving the seating as it is. This could be done in conjunction with Petone sports clubs such as the Petone Rugby Club.

We also need to see investment in the state of the actual fields – the grounds need to be fit for purpose no matter what the weather is like. In 2023, some Premier 1 rugby games couldn't be played at Petone Rec because of terrible drainage – this should not happen in this age of ground technology and advancement.

## **PARKING CHARGES IN PETONE**

### **I don't agree with this**

**I have worked on Jackson Street for nearly 11 years – here are some of my observations:**

- Jackson Street is the main street in a suburb. 90% of Jackson St businesses are small, unique, owner-operator businesses.
- Jackson Street is not in a CBD where hundreds or thousands of office workers use it during the day
- Monday to Friday the main users of Jackson Street's historic + commercial precinct are older (retired) people, mums & bubs, and WelTec students – there is not a lot of foot traffic
- Saturday and Sunday are the main days that most businesses on Jackson St make their money for the week as people from all around the Wellington region come out to shop and eat
- No parking charges is one of the drawcards attracting people to shop, eat and use services on Jackson St
- No parking charges is one of the drawcards attracting businesses to open on Jackson St

**Why I believe parking on Jackson Street and the Britannia St Carpark should stay free:**

- After Covid, the cost of living crisis, and people being cautious due to a downturn in the economy, any further costs could be the difference between coming to Petone or going to another area which has free parking (e.g. Queensgate, big box retail, Upper Hutt, Kapiti Coast, etc)
- It's hard enough for small businesses to compete with big box retail and malls who have their own large and free carparking areas – this is not a fair-playing field.
- This leads onto - why is the Council not proposing paid parking throughout the Lower Hutt area? Why not the other suburbs who have shopping areas?
- Many people who usually come to Petone to shop, eat and use our services have told me they will not come anymore. Many coming from Wellington due to loss of parking spaces (cycle lanes), or paid parking going in their suburbs, or both (e.g. Karori).

- Businesses have told me they will have to lose staff (some employ 1 or 2 people), move to another suburb, go online only, or worse still close altogether.

**Additional funding collected from Petone parking could be used to make improvements and upgrades to transport infrastructure on Jackson Street:**

- This sounds like a bribe
- There is no evidence or assurance given that this will definitely be used for the betterment of Jackson St, and it may be that no money is spent on Jackson St at all!

All parking on Jackson Street – from Cuba Street to the Hutt Road intersections – is time limited (10 minutes, 30 minutes or 1 hour) between 9am-5pm. Traffic wardens are seen on Jackson St nearly every day. ***How much revenue does the Council get from traffic tickets issued on Jackson St every year?*** I imagine it's quite a lot.

I believe that the Council needs a dedicated traffic warden for Jackson Street + the 3 Council-owned Petone car parks only. The warden needs to walk the length of the commercial precinct issuing tickets for those who have overstayed their time, not go up and down side streets issuing tickets for lapsed registrations, etc – another warden can do that if need be.



RUGBY CLUB

A founding member of Fraser Park Sportsville.

30/04/2014

Avalon Rugby Club

Fraser Park

**Re: demolition of soccer and cricket buildings**

I'm writing this letter on behalf of the Avalon Rugby Club committee and its supporters.

The news that the demolition of the above buildings is of grave concern. Avalon Rugby club is not only concerned of the effect it will have on the cricket, soccer clubs and other codes but also the direct impact on the Rugby Club.

Due to the unfulfilled promise of the then Council to provide a weights gym as part of the Sportsville facility. Avalon and Lower Hutt Football club (Founding member) were able to collaborate and agree to share the old football club facility to house a weights gym i.e. the building that is being assigned for demolition.

The gym has been a great asset to not only both clubs but to the:

- Phoenix Academy Football Club
- Taita College Rugby teams
- Naenae College Rugby Teams
- Other Fraser Park Sportsville members
- Miscellaneous members of community who have sought permission to use it, via Avalon Rugby Club

Approximately 50 persons per day use the gym or a minimum of 350 visits per week .

**If both buildings are fully demolished what is the councils plans to provide alternative location of the weight gym, considering that there is no alternative and suitable space available at the FPS building.**

Please note that the weights gym requires weight bearing flooring, sufficient changing and showering facilities, suitable access, and security. The current building has the appropriate requirements needed. Both soccer and rugby clubs invested funds to make it fit for purpose.





The planned demolishing of buildings will impact access to alternative changing rooms and toilets when FPS is closed or at full capacity.

Noting that the only changing rooms and toilets apart from the FPS facility available would be the "Noddy House" would be insufficient for what is Wellington Regions largest sporting park. There have been many times where FPS changing rooms and the Noddy House have been used to full capacity. This occurs when rugby and soccer teams are scheduled to play at the same time. (Including matches on the artificial turf).

At times there may be other activities such as squash tournaments, and F45 scheduled which adds to congestion of facilities of FPS. During the month of December Samoan Kilikiti tournament is held at Fraser Park the ability to access the changing rooms at the old football club building is important because the FPS toilets are normally unavailable during the month of December.

Furthermore, demolishing of the two buildings will minimize storage options for FPS founding members. Storage is already at a premium. Currently the Taita Cricket Club uses the old cricket club building to store their wicket covers and other equipment. Both Boxing and Thai clubs also use the building for storage and are based at the old club building.

Avalon Rugby would appreciate it if there were plans to relocate or replace the weights gym, if so, what is the detail. Understanding that there has been no consultation with Avalon Rugby Club.

Is the Council able to explain as to why the demolishing of the Soccer and Cricket buildings is to contribute positively to the community knowing that both buildings are being fully utilised.

Other questions Avalon Rugby Club have.

- a. Are there plans to replace the demolished changing rooms on park
- b. What evidence does the council have that the buildings are no longer required?
- c. Additional indoor training space to replace the soccer facility, noting the indoor space at Ricoh is stretched and could not accommodate extra volume and may not be fit for purpose for other codes.
- d. Are there plans to replace storage facilities for cricket and softball.
- e. Are there plans to relocate GBH Boxing and Thai Boxing club who current use the old Taita Cricket club.
- f. What is the cost of demolishing?

Yours sincerely

Bruce Chase



Avalon Rugby Club

**From:** [Rod Badcock](#)  
**To:** [haveyoursay](#)  
**Cc:** [Jo Clendon](#); [David Tripp](#)  
**Subject:** [EXTERNAL] Submission on 10 Year Plan - Hutt City Council  
**Date:** Friday, 3 May 2024 7:50:06 am

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I wish to submit on the consultation and strongly request that urgent action is taken to enable mode shift and active transport. Not doing so will increase gridlock, increase infrastructure costs, and accelerate our climate emissions.

Not only am I a Hutt City resident, but I run a clean-tech and deep tech operation out of the Hutt that has generated significant economic growth in the region. All of which will be under water if climate issues are not addressed.

Currently the 10 year plan fails to deliver real change. Real action can be taken, and requires Hutt City Council to gain some fortitude in setting KPI's, and showing leadership - not all measures cost a fortune; indeed with the money spent on consultants in thinking about a network,(that has not delivered any outcome) this would avoid this being wasted.

I fully support the Hutt Cycle Network submission, and that of Dr David Tripp. Clear actions have been identified in the larger submissions that must be enacted.

I wish to be heard in person.

Rod

--

Prof. Rod Badcock  
[REDACTED], Lower Hutt 5011  
New Zealand

email [REDACTED]  
mobile: [REDACTED]  
Telephone: [REDACTED]

## **Hutt City Council Long Term Plan 2024-2034 Submission**

Name: Merran Bakker

Email: [REDACTED]

I live in Petone.

This is an individual submission.

I wish to speak to my submission.

### **Introduction:**

I acknowledge the work that has gone into creating this 10-year plan and the challenges faced by balancing large infrastructure needs with the community's ability to fund these through rates. However, I also point out that there is little background detail for respondents to understand how the 'achievements' of the past three years match up to the targets that were set for that period. It would be helpful to have more concrete key performance indicators and results available so residents could see where rates are going.

My personal experience has led me to be concerned that money has been wasted by council in some areas. One example is in the re-sealing of Britannia Street, where I live. This was initially done a few years ago, but immediately began to break down due apparently to the poor quality of the asphalt supplied. The remedial work has been just as poor, leading to a rough surface that continues to break down. Other streets in Petone seem to have similar issues. If the work had been done to a higher quality surely it would last longer, thus ultimately saving money.

Another more significant example is the work done with a series of consultants on walking and cycling links between The Esplanade and Jackson Street, and the Magic Triangle – Avalon, Naenae and Taita. Whilst I and others attended workshops as volunteers, council staff and consultants were no doubt paid to participate. There were acknowledged deadlines for completing these projects if Government money was to be accessed -but despite voiced intentions none of this work has started and little or no government funding is now available.

### **Water Services:**

I am keen to see the maximum affordable amount spent efficiently to remedy the poor state of our water infrastructure. My preference is for **Option 2** in the consultation document, so that the pipes are renewed, and the burden of repairs doesn't fall on future generations. Let's not only catch up on leaks but make genuine progress fixing this.

I approve of water meters so that ratepayers can know their usage. An incentive for individual households would be that if they use less than the average amount, their costs could be less than the current targeted water rate. I note that the Draft LTP has not adjusted the targeted water use over 10 years to account for the positive impacts of water metering. The suggested water consumption target of up to 385 litres per resident per day is far more than the national average of around 229 litres and over three times as much as Auckland users. If leaks are mended and meters installed, I would like to see a much more ambitious target for water use. Over time this should reduce the need for capital expenditure.

#### **Food and Green waste collection service:**

I am in favour of the Council setting up a food and green waste collection service as I believe it will divert compostable material from the landfill. It will be important that this change is well informed by what will really work for residents; for example, the size of bins and frequency of collection will matter in changing behaviour. It seems good to move to a less frequent rubbish collection if food and green waste collection is weekly and the bins are large enough to take a reasonable amount of material.

#### **Rates rebates:**

As the Government already pays a rates rebate, I am not in favour of the council extending this at a time when finances are already stretched.

#### **Petone assets:**

I disagree with all the council options for Petone assets. Lumping the three assets together into two choices in the consultation document does not enable good analysis of either what the community wants or what is best for each of these structures.

#### **Petone Wharf:**

I note that the council's 2023 Heritage Inventory Report recommends retention of the wharf, based on its historic and social values. **Please do not demolish Petone Wharf if it can be repaired for a similar sum to that proposed for demolition.** The wharf is a significant landmark for Petone Beach and a community asset for walking, fishing and enjoyment of the harbour.

### **Petone Library:**

I disagree with spending more than necessary on repairs to the Petone library. I believe the sums allocated in the choices given are approximations based on a maximum total spend of under \$20 million dollars. What would be better for Petone is to take time to build a business case based on what the community wants, rather than imposing some sort of 'hub'. It is not clear what the currently mould affected parts of the building can best be used for, so I ask the Council to take more time to explore options and explain them to the community, whilst allocating at least some maintenance funding into the budget.

### **Petone Recreation Ground Grandstand:**

I am not in favour of the grandstand being demolished.

### **Transport:**

I agree with all the points made by Hutt Cycle Network, of which I am a member. If climate change goals are to be realised there needs to be more focus on getting people out of cars. I am disappointed in the unambitious goals for improving the cycling network. Reducing speeds and paying for parking are two low-cost ways to make way for mode shift. Smaller interventions can also help awareness of the presence of cyclists. Here are some examples:

- keeping up with cycle marking on roads (for example the Ewen Bridge, and Waione Street).
- continuing to improve directional signs for walking and cycling. For example quiet streets marked as 'safe route to...'
- providing more quality cycle stands at destinations, such as local shopping centres

To change behaviour, people need incentives as well as deterrents. Although public transport is managed by greater Wellington Regional Council, encouraging its use could be another way for the council to

work towards mode shift. Perhaps as well as decarbonising the council's fleet, the council could provide incentives for all its staff to use trains and buses instead of cars. It would be great to see this modelled!

### **Parking meters:**

I urge the council not only to introduce paid parking in Petone but to consider the whole city in the light of intensification of housing. An example is in my neighbourhood of Britannia Street, where on-street parking is about to be challenged when twelve three-bedroomed units are occupied, by owners who will likely have one to two cars per unit. A strategy of having residents parking zones, paid by a modest annual fee, combined with strict time-limited free parking zones for schools, churches and businesses could be a way of dealing with parking in the crowded areas of high-density housing. Petone's smaller streets are dominated by parked cars, many all day by commuters, who should pay per day perhaps by coupon parking as in Wellington. As with water metering, paying for the privilege should have a way of focussing people on the city's assets and services they are using.

### **Summary:**

My message to the Council is this:

- please fix our water infrastructure fully as soon as possible
- don't demolish Petone Wharf or Grandstand or waste money on the library – but keep it as a good local library.
- work on disincentives for motor vehicle congestion and pollution while putting more emphasis on mode shift.





**From:** [Carl Bakker](#)  
**To:** [haveyoursay](#)  
**Subject:** [EXTERNAL] Feedback on 10 Year Plan  
**Date:** Friday, 3 May 2024 11:21:30 am

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I have made some limited comments below on some of the material covered in the LTP. A theme running through my comments is a dissatisfaction with how Council has worked with impacted communities/informed parties to canvass genuinely relevant options and develop cost-effective and enduring solutions. If those processes are not improved it does not augur well for delivery of many projects and any future plans. This matters more than my comments on particular highlighted aspects.

**Water services-** support Option 1, and certainly the roll-out of water metering

**Petone assets.**

**Petone Wharf:** I really don't understand the rationale behind the arbitrary allocation of \$20m, and then the random options and bundles. This will act to provide rather unhelpful feedback that is necessarily constrained, further exacerbated by the exclusion of possibly the most promising option for the Petone wharf.

I am strongly in favour of the restoration plan developed for the wharf which has identified- using internationally experienced contractors- an option that protects damaged piles and offers a long service life for the wharf (within the proposed \$6m demolition cost). I think too that Council should review how such an option was not identified as part of its process, and then why, even at a late stage, it was not included in the consultation options. This behaviour is hard to fathom- perhaps incompetence or simply a too-slow response to emerging material which needed fast adaptation and consideration. But not including this option means you have limited the validity and usefulness of the the entire feedback process on this part of the LTP.

**Petone Library:** Once again there is a too-limited set of options and supporting content provided to enable sensible choices. I think this reflects again inadequate prior process, including limited discussion of possible options with the impacted community. The state of the buildings also seems to reflect a past history of poor maintenance by Council, leading to increased costs, and it smacks of officers working to ensure that a prior favoured outcome becomes a necessity. I strongly favour retention of a library with some community meeting spaces (best determined by community discussions), and suspect that the options to achieve this may well be possible within a more limited budget than proposed, and deliver much greater functionality.

**Petone Grandstand:** I find it hard to identify a strong preference as I strongly suspect that, like the wharf, we haven't seen the range of options discussed amongst relevant parties that helps to truly identify what could be done cost-effectively, to deliver a range of outcomes.

If you are interested, I'm happy to provide further detail on these brief comments.

**Carl**

**Carl Bakker** | [REDACTED] Petone

Mob: [REDACTED] | [REDACTED]



## Submission to Hutt City Council LTP 2024-34

Specifically, this submission relates to the **Petone Wharf**

### Summary

In my submission I am proposing a middle path that Council should consider in addressing the challenges of retaining this Heritage Asset while living within the tight financial situation that Council faces.

### My experience

I am making this submission as an experienced Asset Manager of wharves in Wellington. I spent 10 years in management roles on Wellington Waterfront, during which time we undertook major repairs on Queens Wharf and Taranaki St Wharves. I am familiar with the processes of long-term asset management of wharves for public use and have dealt with engineering consultants and construction crews undertaking specified work.

### Background.

I have read the options set out in the **Draft LTP** and the **Petone Wharf Future Options Report by Calibre** and listened to the arguments of the '**Save Petone Wharf**' group. There is clearly strong community support for retention of this important heritage artifact and recreational destination.

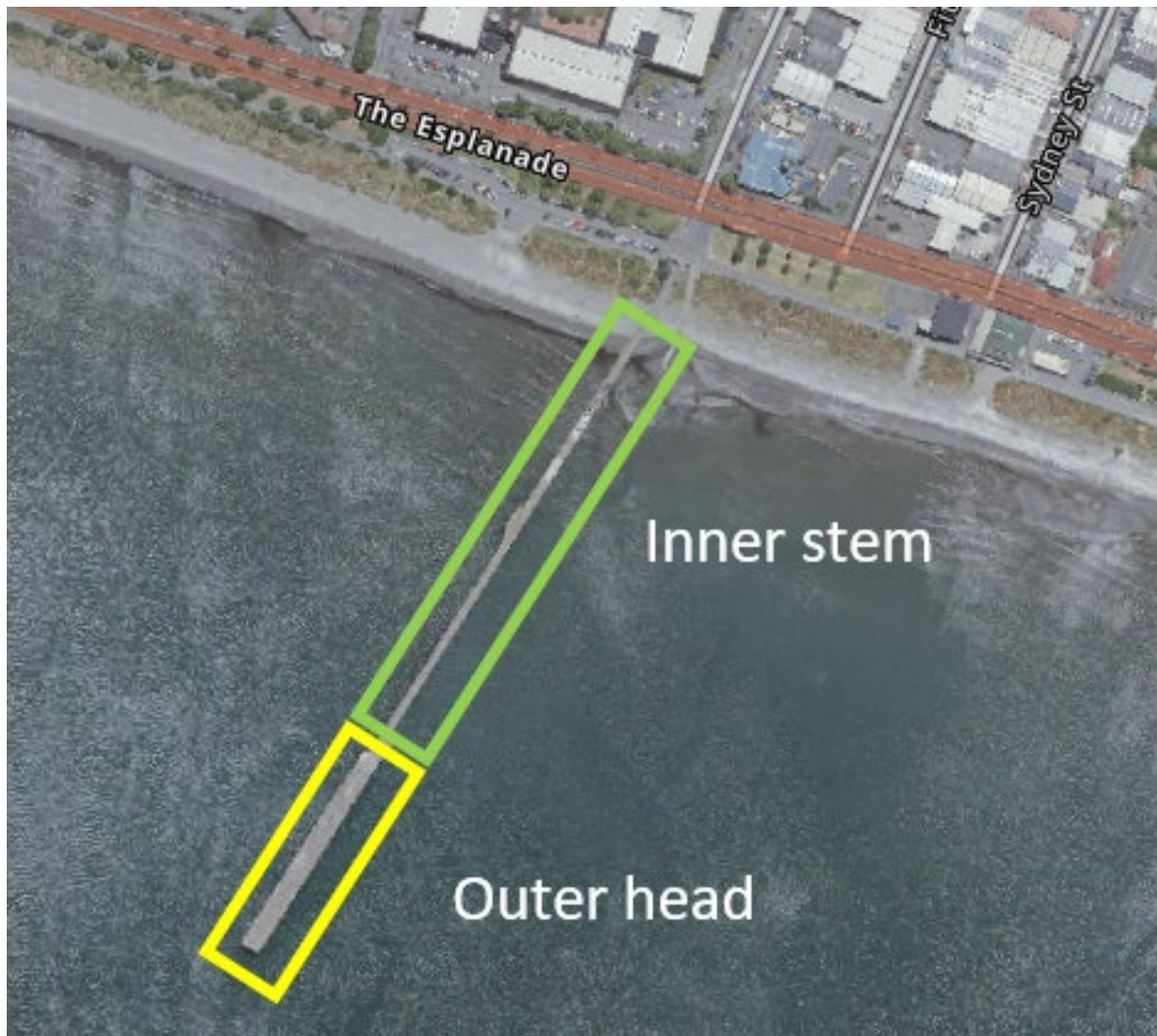
To a degree the Council and the Community Group positions are at odds with each other, and in my view, there is a middle path where both could be satisfied.

Adopting this approach could achieve the following:

- Council's budget could be **reduced from the proposed \$6m**
- Important parts of the **wharf could be quickly returned to public use.**

### My preferred option

To understand this, we need to consider the wharf as two separate parts with notably different conditions, as identified in the Catalyst report.



I have also had discussions with the construction crew who undertook the repairs to the wharf following the Kaikoura earthquake. They advise that they not only undertook repairs to this section of the stem that partially collapsed during that event **but also** jacketed and grouted all the seriously deteriorated piles on the inner stem. I understand the cost of this work was around \$400k.

From my understanding, the 2022 work makes all the **Inner stem** already suitable for opening to public pedestrian use now. I can see no technical reason why Council have placed a gate part way along the stem to prevent public use.

The **Outer Head** wharf is known to be in poor condition with substantial pile deterioration.

The Calibre Future Options Report considered 6 options from Full Restoration to Demolition.

However, the report did not consider this option:

- the retention of the existing **stem wharf as pedestrian only** i.e. downgraded from full vehicle access.
- and **mothballing the head wharf** for later consideration.

Calibre do note that there is a risk of further damage in to the wharf in future seismic events. A significant contributor to this is because the head and stem construction details differ, notably the head is much wider than the stem. In a seismic event the natural vibration period of the two sections

is different, which might impose greater stresses than the wharf can accommodate.

A common solution used to reduce this risk is creating a '*seismic gap*' which separates the head and stem wharves. A second seismic gap between the stem wharf and the land would further reduce the risk.

These are low-cost options and should be considered to improve the seismic capacity of the wharf..

Here is the detail of the pragmatic proposal I am suggesting:

- Confirm that my assertion that the stem is OK for public pedestrian use is correct.
- If this review identifies any minor work is required to achieve public use, then undertake that work.
- Move the existing barrier to the end of the inner stem.
- Separate the stem and head wharf sections with a seismic gap.
- Reopen the inner stem of the wharf for public use.
- Undertake any essential work on the Outer Head that if left unattended would create a hazard. (I understand there is some required, but to *make safe* is a much lower cost than to *bring up to standard* for public use.)
- Limit the budget for the first triennium of the LTP to \$1M

### The outcome and benefits

This proposal would achieve the following.

- **Restoring public use of the Petone wharf stem** in a short time, almost immediately.
- **Retaining the important Heritage artifact.**
- **Avoiding the high cost of wharf demolition.** Instead put a small allowance for wharf maintenance into the LTP.
- **Avoiding the costly process of obtaining Resource Consent for the demolition.** I believe any application would likely be contested.
- **Retaining the structure of the Outer Head** so that future Council and community can **decide sometime in the future** whether to restore this part of the wharf. They will have the benefit of a good understanding of the public use of the Stem Wharf.
- Avoiding the **risk of salt water intrusion into the aquifer** when the wharf is removed. Demolishing the wharf will leave the piles cut off at sea bed level. Without the weight of the wharf downward on the piles, there is a risk that aquifer pressure could cause wharf pile remnants to rise. If the piles have penetrated the impervious layer, then sea water might contaminate the aquifer. This risk would need to be well considered in any consent to demolish the wharf.

### My details

- Allan Brown
- Private submission
- [REDACTED]
- [REDACTED]
- Preferred contact email.
- I am not a resident of Hutt City but have owned businesses in the city in the past.
- I could be available to speak to Council.



## Hutt City Council 2024-2034 10 Year Plan

### Submission by Citizens Advice Bureau Lower Hutt

Citizens Advice Bureau Lower Hutt welcomes the opportunity to make a submission on the draft 2024-2034 10 Year Plan. We have been a proud part of the Lower Hutt community now for 50 years. This year we are holding our 50<sup>th</sup> AGM. We couldn't have survived this long without the support of the Hutt City Council, both with the provision of free accommodation in the past and financial grants to help us with our running costs. We have always appreciated this support.

Our central city location means that we are easily accessible to people from all parts of the Hutt Valley, especially those using public transport. We run an Outreach clinic in Stokes Valley on Tuesday mornings and currently provide JP services to residents 4 days a week. In addition, with the support of local lawyers, we run a free legal clinic each week. We also do on the ground management of the meeting rooms and manage the bookings board, on behalf of Council, for the building we occupy.

We field hundreds of inquiries each month from relationship issues to motor vehicle problems, legal issues, employment, consumer and tenancy matters, through to concerns regarding disruptive neighbours. People are often referred to us by Council for issues concerning trees amongst other things. Our volunteers maintain great relationships with a wide range of local organisations, and we all work together to empower the residents of Lower Hutt.

We recognise and support the importance of well-maintained and functioning infrastructure to the overall wellbeing of citizens and visitors. We also recognise that there is a need for immediate attention to the condition of much of the City's infrastructure. Our concern is that the draft 2024-2034 10 Year Plan seeks in part to finance this from increases to fees and charges for the use of community facilities. Any impact on the ability of community groups, including ourselves, to offer services, cultural, environmental and recreational programmes to the Lower Hutt Community is a very backward step, especially in the current financial climate where funding is incredibly tight. The potential gain to Council's finances in relation to the overall cost of infrastructure asset management is minimal but the impact on the community is huge.

#### **He aha te mea nui o te ao**

What is the most important thing in the world?

#### **He tangata, he tangata, he tangata**

It is the people, it is the people, it is the people

We are very concerned to see that in the draft 2024-2034 10 Year Plan and associated financial plan (pg 51) that the proposal is to increase rents for rooms in Russell Keown House significantly. Whilst our core premises are on a fixed rental, we do rent meeting rooms on a regular basis. We are fearful that these meeting room rental increases might be indicative of a future increase for our core premises that would make it incredibly hard, if not impossible, to sustain our service to the community.

Like many organisations, we are now finding our costs are increasing faster than our income. We rely solely on grants. The impact of rising rent and the progressive reduction of our grant from Council is leaving us in a dire situation. In respect of other grants, it is an extremely challenging environment in which to retain existing and gain any new grants. Cumulatively these factors have left us with a significant deficit for this and future financial years. Our Council grant for the current year was \$36,000, 60% of the total grants money we received. Our current bank balance will be approximately \$65,000 at the end of this financial year and we are forecast to make a loss this year of approximately \$10,000. Insolvency is a real possibility in just a short period of time, as little as two to three years, without the continued support of Council. Unfortunately it is likely we will need an increase in our grant to cover increasing costs and recognising the difficulty in securing other grants. But again we stress, the amount of money we are talking about in the context of Council's overall spending is tiny.

**We ask that Council:**

- reverse the proposal to increase fees and charges for the use and provision of community facilities by community groups.
- not increase the rent for the Citizens Advice Bureau Lower Hutt premises in Russell Keown House
- fund Citizens Advice Bureau Lower Hutt at a level that ensures our immediate and long-term financial viability so that we can continue the much needed and valued support we provide to the community.

We wish to present our submissions to the Hutt City Council in person and can be contacted for a presentation time through our Manager, Lynne Philp on [REDACTED]

Ref: 29846 - McElwain

2 May 2024

Hutt City Council  
Email: haveyoursay@huttcity.govt.govt.nz

## Submission on 2024-2034 Long Term Plan: Development Contributions

### Introduction

Cuttriss Consultants Ltd is a long-standing land development consultancy established in the Hutt Valley in 1947 and currently employs over 50 planners, land surveyors, and civil engineers.

Cuttriss facilitates a large number of residential subdivisions and multi-unit developments in Hutt City on behalf of our clients from our office in central Lower Hutt where over 25 of our staff are based.

The Hutt City Council is proposing to significantly increase Development Contributions from 1 July 2024 in accordance with Table 2 below sourced from the 2024-2034 Long Term Plan (LTP) consultation document.

The increase is particularly pronounced on the Valley Floor where the increase is proposed at \$38,224 per EHU or additional standard dwelling.

**Table 2 – Comparison of proposed charges (applicable 1 July 2024) to previous policy**

		Catchment						
		Eastbourne	Stokes Valley	Valley Floor	Wainuiomata	Western Hills	Rural*	Districtwide
Activity		Development contribution per EHU (GST inclusive)						
Transport	Current	\$0	\$0	\$0	\$0	\$0	\$0	\$2,497
	Proposed	\$0	\$0	\$0	\$0	\$0	\$0	\$5,275
Water Supply	Current	\$0	\$0	\$7,680	\$12,383	\$1,231	\$0	\$342
	Proposed	\$0	\$0	\$13,937	\$12,855	\$695	\$0	\$1,784
Wastewater	Current	\$667	\$667	\$667	\$5,525	\$667	\$0	\$3,188
	Proposed	\$0	\$1,857	\$11,695	\$7,336	\$1,751	\$0	\$8,706
Stormwater	Current	\$864	\$15	\$160	\$1,821	\$88	\$0	\$244
	Proposed	\$3,053	\$68	\$10,689	\$5,082	\$105	\$0	\$918
Total	Current	\$1,530	\$682	\$8,507	\$19,729	\$1,986	\$0	\$6,272
	Proposed	\$3,053	\$1,925	\$36,320	\$25,273	\$2,550	\$0	\$16,683
DC per EHU (\$) a development will pay in each catchment	Current	\$7,802	\$6,954	\$14,779	\$26,000	\$8,257	\$2,497	\$6,272
	Proposed	\$19,736	\$18,008	\$53,003	\$41,955	\$19,233	\$5,275	\$16,683
	Change	\$11,934	\$11,054	\$38,224	\$15,955	\$10,976	\$2,778	\$10,411



From our review of the proposed Development Contributions for comparable suburbs in Upper Hutt City, Porirua City, and Wellington City, the proposed Development Contributions for the Valley Floor will generally be the most expensive by a considerable margin. The consequence of this will likely be that developers will choose to build in locations other than the Valley Floor where costs are lower, resulting in less houses being built on the Valley Floor, and potentially less Development Contributions and rates revenue for Hutt City Council.

## Our Position

We absolutely agree that three-waters infrastructure in Hutt City requires significant investment for renewals and upgrades, however we do not agree with the apportionment of the Development Contribution increases as proposed in the LTP.

It has lately been reported on numerous occasions (and not disputed) that three-waters infrastructure has suffered from a lack of investment over the last 20-30 years, and this, in our considered opinion, has contributed to a significant degree to the situation today where a spending catch-up is urgently required. Some of that catch-up is indeed due to growth in residential and other development, however a large proportion is due to neglect over many decades.

The LTP does not acknowledge the lack of investment in three-waters infrastructure over a sustained period, rather it states that the increases in Development Contributions are based on the principle of "Growth pays for Growth" and hence new developments are proposed to be saddled with substantial increases in costs.

It remains our view that future growth should not be contributing to the cost of historical under-investment in infrastructure generated by deferred maintenance and renewals, and growth that has already occurred, but which has not paid its share. That being the case, any deficit in infrastructure as at 30 June 2024 should be met through rates, with the cost of future growth post 30 June 2024 only being fairly apportioned to new development.

Several of our large-scale land developer clients have submitted on the Development Contributions aspect of the LTP in a letter to Council dated 9 April 2024. We fully agree with the concerns raised in this submission, and while we agree that staging the implementation over a period of years as proposed in that submission will help reduce the impact of the cost increases, as noted we do not agree with the apportionment of those increases.

Furthermore, we contend that the principle of 'Growth pays for Growth' is not in all cases the best and fairest means of apportioning the costs of infrastructure, and may have unintended consequences as follows:

- It is the City as a whole that benefits from growth through increased rates, creation of employment opportunities, provision of larger markets for local businesses, and better use of recreational facilities, and therefore the City as a whole should more equitably contribute to the costs of infrastructure generated by growth.
- The very high costs of the proposed Development Contributions on the Valley Floor especially will encourage developers to purchase land where the contributions are lower, for example in outer suburbs with restricted access to public transport or in other cities where it is less desirable (for Hutt City at least) to concentrate large-scale growth. This could mean that growth occurs in Hutt City at a much slower rate than forecast, leading to a continued shortage of affordable housing, a Council infrastructure-budget shortfall, and the lost opportunity of receiving an increased rates take.

- In terms of the potential loss of rates, we have analysed two recent multi-unit developments on the Valley Floor, and they have led on average to 6x the rates take per m<sup>2</sup> compared to the rates take per m<sup>2</sup> on the adjoining properties which each contain a single dwelling. For example, a 700m<sup>2</sup> property on the Valley Floor might currently pay \$4,200 in rates on a single dwelling, however post development that same property might pay in the order of \$25,200 in rates. While there will be some additional Council costs generated by the additional number of properties (eg waste collection and disposal) we would suggest that the increased rates revenue will assist in addressing the infrastructure deficit over time (ie, growth will help pay for growth).
- Stormwater and wastewater ‘mitigation’ is required for new developments, and this is most often addressed by installing a stormwater detention tank and providing a wastewater storage tank and pump for each dwelling. These systems are designed to delay the discharge of stormwater and wastewater to the Council network, thereby avoiding overloading that infrastructure. The typical cost of the mitigation measures is \$25,000 per dwelling and is met by the developer. Where the existing stormwater and wastewater networks are at capacity due to historic underinvestment in upgrades, a lack of maintenance, or infiltration by groundwater (in relation to wastewater) then growth is not strictly paying for growth, and some credit should be applied for providing mitigation, possibly through a discount on Development Contributions.

## Our Solution

We believe that a more balanced and equitable approach should be taken to the necessary increase in Development Contributions, by averaging out the proposed increase and applying it equally to the five suburban catchments (ie. excluding Rural).

The average increase would be in the order of \$17,749 per catchment compared to the current range of increases of between \$10,976 and \$38,224 per catchment. This still represents a significant increase in costs to developers and end users, and we therefore suggest that not unlike the Developers’ submission of 9 April 2024, the policy be implemented in stages, but with a 50% increase on 1 July 2024, and a further 50% increase on July 2025. The outcome would be as per the table below.

CATCHMENT						
	Eastbourne	Stokes Valley	Valley Floor	Wainuiomata	Western Hills	Rural
Current	\$7,802	\$6,954	\$14,779	\$26,000	\$8,257	\$2,497
Proposed increase by Cuttriss	\$17,749	\$17,749	\$17,749	\$17,749	\$17,749	\$2,778*
Resulting Levy by 1 July 2025	\$25,551	\$24,703	\$32,528	\$43,749	\$26,006	\$5,275
Difference to proposed HCC levy	+\$5,815	+\$6,095	-\$20,475	+\$1,793	+\$6,773	Nil

# Cuttriss

Surveyors. Engineers. Planners.

*\*\$2,778 is the proposed HCC increase as per the LTP*

While it could be argued that the lesser Development Contribution per EHU levied on the Valley Floor as per our proposal would mean a shortfall between revenue received and the investment made by Council in three-waters infrastructure in that area, we contend that the current policy will lead to a greater shortfall in practice due to a marked slow-down in development on the Valley Floor, as further outlined in the Developers' submission of 9 April 2024.

We further propose that in line with our discussion above, where stormwater and wastewater networks are proven to be at capacity due to historic underinvestment in upgrades, a lack of maintenance, or infiltration by groundwater (in relation to wastewater) then growth is not strictly paying for growth, and some credit should be applied for providing mitigation, possibly through a discount on Development Contributions.

On a general note, the application of an average increase across the City as we propose, will be more in line with the draft Development Contributions policies currently being consulted on by both Upper Hutt City Council and Wellington City Council, where proposed increases are more evenly applied across their established suburbs rather than being concentrated in one area.

Thank you for the opportunity to make this submission, and we would like to take the opportunity to be heard on this matter.

Yours faithfully



Colin McElwain  
Director  
CUTTRISS CONSULTANTS LTD

# Doctors for Active, Safe Transport



## Submission to Hutt City Council on the 2024 10 Year Plan

Dr Marion Leighton

Doctors for Active, Safe Transport (DAST)

April 2024

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**We would like to present orally on this submission.**

There are significant health benefits from active transport – in particular cycling. These include substantial reductions in heart disease, cancer, diabetes, dementia and death – illnesses currently pushing our health system beyond capacity. These are detailed in the attached annex.

This is well summed up by recent Otago University research, which stated, “The current transport system in NZ, like many other car-dominated transport systems, has substantial negative impacts on health, at a similar level to the effects of **tobacco and obesity**.”<sup>1</sup> Māori are disproportionately affected by these negative impacts.

The lives of your people are at stake.

There are also other reasons for continuing to build safe and attractive cycle infrastructure:

- We have an urgent need to reduce carbon emissions from transport.
- Urban intensification in these suburbs will result in relentless gridlock unless considerable mode shift occurs.

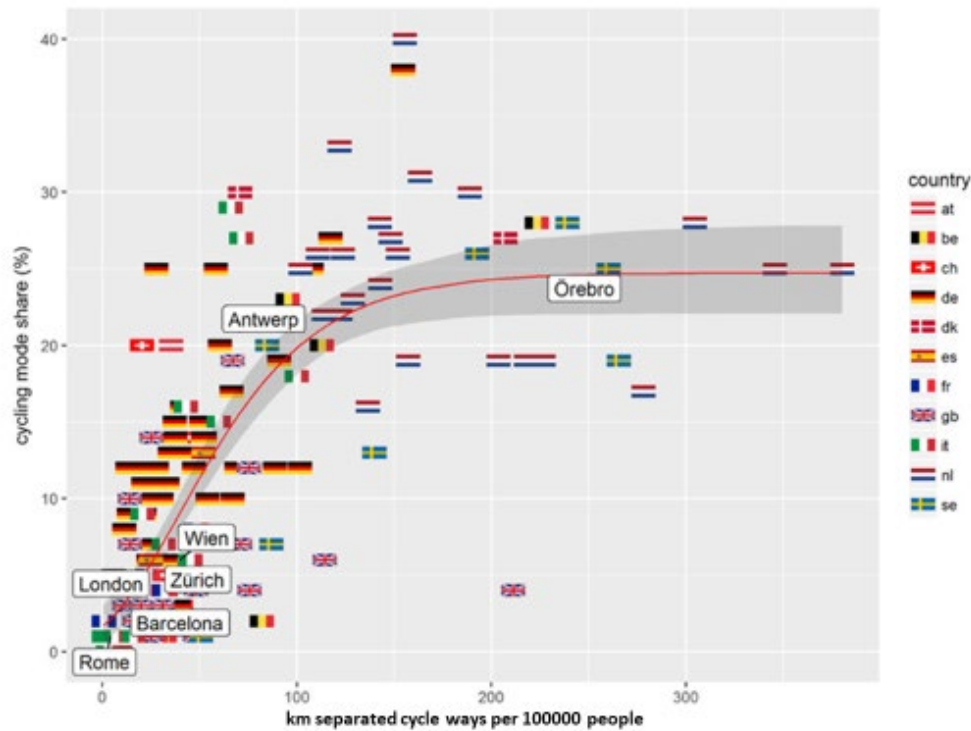
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<sup>1</sup> Randal E, Shaw C, McLeod M et al, The Impact of Transport on Population Health and Health Equity for Maori in Aotearoa New Zealand: A Prospective Burden of Disease Study, Int J of Environmental Research and Public Health, 2022

This is a dramatic change to the way we do transport.

### What sort of cycling infrastructure do we need?

While cyclists currently compose a very small proportion of road users, for the above reasons you need to build for 10 – 20% mode share by cycling. This is achievable but requires high quality infrastructure:<sup>2</sup>



The quality and design of cycling infrastructure is key to encouraging new people into cycling. A survey of New Zealanders undertaken for a Waka Kotahi Research report in 2011 showed that people in NZ place the highest preference on separated cycle paths, i.e. not shared with anyone except other cyclists.

We also know that some groups of people are more sensitive to design than others, which is relevant to providing inclusive access to better transport options. Specifically, it has been consistently shown that women prefer separated infrastructure over other cycling infrastructure:

- An international review of 54 studies shows women have stronger preferences for separated cycleways than men. Both genders prefer separated cycleways compared to any other situation, including on-road cycling or shared paths with pedestrians, but women preferred them more strongly.<sup>3</sup>
- Evidence from Christchurch demonstrates that their ongoing programme of building a network of predominately separated cycleways has increased the proportion of women who

<sup>2</sup> Mueller N, et al. Health impact assessment of cycling network expansions in European cities. *Preventive Medicine*. 2018;109:62-70

<sup>3</sup> Aldred R, Elliott B, Woodcock J, Goodman A. Cycling provision separated from motor traffic: a systematic review exploring whether stated preferences vary by gender and age. *Transport Reviews*. 2017;37(1):29-55.

cycle. In the central city the overall number of cyclists in the morning peak period has doubled between 2016 and 2021. In this same time period and location, the proportion of cyclists who are women increased from 32% to 46%. (These data were provided by Christchurch City Council). Other interventions in NZ that have relied less on segregated infrastructure have not seen the same increase in female cycling.<sup>4</sup>

- Women who participated in research in the Hutt Valley in 2019 noted that to improve women's cycling there was a need for separated, continuous cycle lanes that "get you to the places that you can go in a car". The three focus groups of wāhine Māori in this research also highlighted that for Māori (who have some of the lowest rates of cycling) wide cycle lanes that support travel with whānau are desirable.<sup>5</sup>
- Women have a double safety burden when it comes to active modes. They are not only impacted by concerns about safety from interacting with cars as cyclists and pedestrians, but also personal safety.

We need to be encouraging dramatic mode shift in intermediate and secondary school pupils commuting to school by bike given the deeply concerning increase in obesity in this age group. This will not happen if they are required to share the road on arterial routes with heavy traffic in narrow lanes.

To build lower quality cycle infrastructure is a lose-lose. The cost and disruption of cycle facilities will not achieve the substantial cycle uptake that is required and possible.

### **What Do We Recommend for Lower Hutt**

For these reasons DAST recommends actively progressing an integrated cycle network, whose arterial routes should be physically separated from traffic.

Your 2022 Integrated Transport Strategy set out clear principles for a shift in your transport system from the current car dominated approach. Past cycling strategies have consistently planned to support this transition, but delivery has been repeatedly delayed.

Your current 2024 Ten Year Plan reinstates funding deferred from the prior plan – but indicates Waka Kotahi funding may be at risk. The risk is that the pattern of deferment continues, and the health of your people suffers as a result.

Further, your 2024 Ten Year Plan focused transport investment on two large projects – Riverlink and the Cross Valley Link – which focus on substantial improvements in infrastructure for motor vehicles, further locking in car dependence.

We recommend you prioritise active transport facilities, regardless of Waka Kotahi funding.

Current and future generations of Lower Hutt residents need you to do this now.

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<sup>4</sup> Keall M, Chapman R, Howden-Chapman P, Witten K, Abrahamse W, Woodward A. Increasing active travel: results of a quasi-experimental study of an intervention to encourage walking and cycling. *J Epidemiol Community Health*. 2015;69(12):1184-1190

<sup>5</sup> Russell M, Davies C, Wild K, Shaw C. Pedalling towards equity: Exploring women's cycling in a New Zealand city. *Journal of Transport Geography*. 2021;91:102987.

## Who is DAST

We are a network of over 130 Wellington and Hutt Hospital doctors advocating for the benefits of active transport.

In our roles as specialist doctors, we are often the ambulance at the bottom of the cliff. We daily see the debilitating and painful – often fatal - health consequences of a national that gets far too little exercise.

We aim to promote the health benefits of active transport for all the people of our region and want to help people make healthy choices.

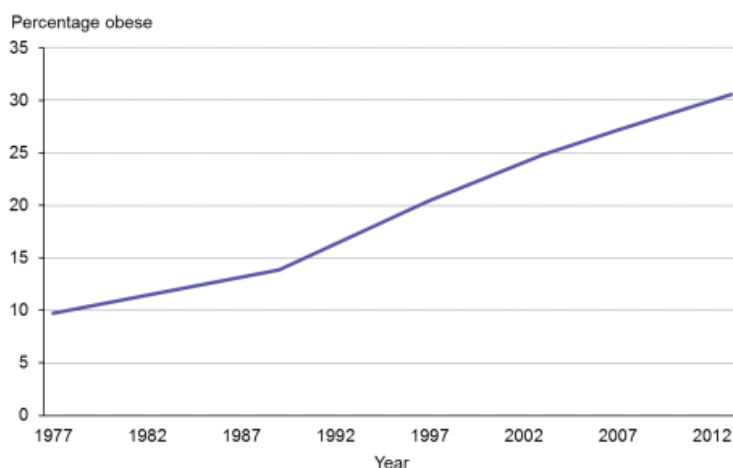
As local political leaders, you can build a fence at the top of the cliff – by leading a paradigm shift from a transport infrastructure focused on private motor vehicles to one which facilitates and promotes active transport.

Despite good intentions, provision for active transport is glacial in terms of progress and consumes a tiny fraction of the budget.

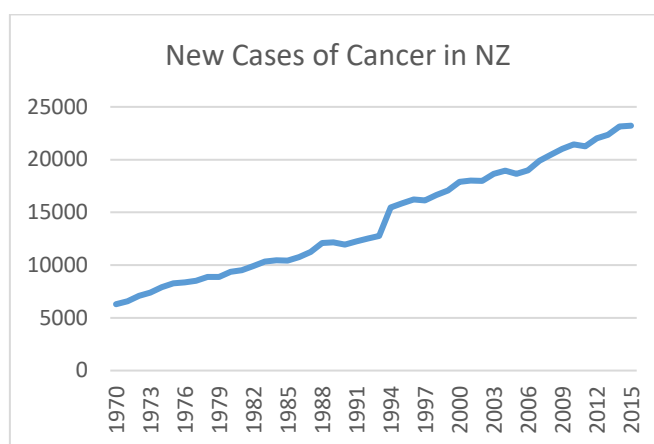
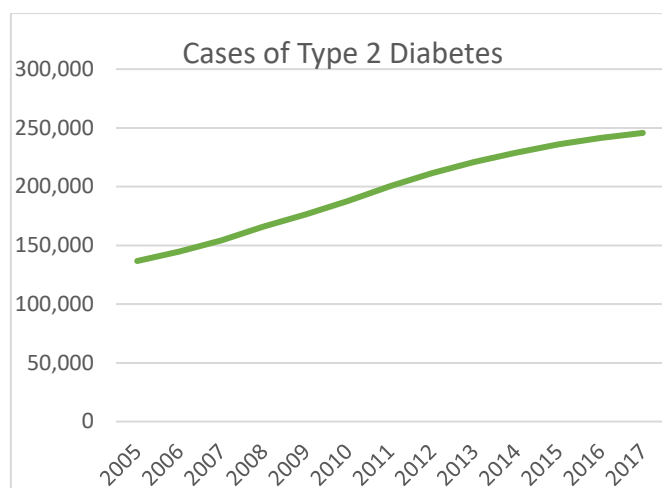
For the sake of the health of the people you lead, and that we care for, this must change.

## A Snapshot of Health in NZ

New Zealand faces a dramatic increase in obesity, and the consequent health problems:



Similarly, NZ faces dramatic increases in the number of people with diabetes and cancer:



### Health Benefits of Active Transport

In high- and middle-income countries physical inactivity has become the fourth leading risk factor for premature mortality.<sup>6</sup> Declining rates of functional active travel have contributed to this population-level decrease in physical activity, and evidence suggests that rising levels of obesity are more pronounced in settings with greater declines in active travel.<sup>7,8</sup>

Evidence for the considerable health benefits of cycling continues to grow.

A recent 5-year prospective study of over 250,000 people (median age 52)<sup>9</sup>, published in the British Medical Journal, found cycling reduced:

- The risk of all-cause mortality by 41%
- The risk of any cancer by 45%

<sup>6</sup> UK Department of Health. Start active, stay active: a report on physical activity from the four home countries' chief medical officers. DoH, 2011.

<sup>7</sup> Pucher J, Buehler R, Bassett D, Dannenberg A. Walking and cycling to health: a comparative analysis of city, state, and international data. *Am J Public Health* 2010;100:986-1992

<sup>8</sup> Bassett D, Pucher J, Buehler R, Thompson D, Crouter S. Walking, cycling and obesity rates in Europe, North America, and Australia. *J Phys Act Health* 2008;5:795-814.

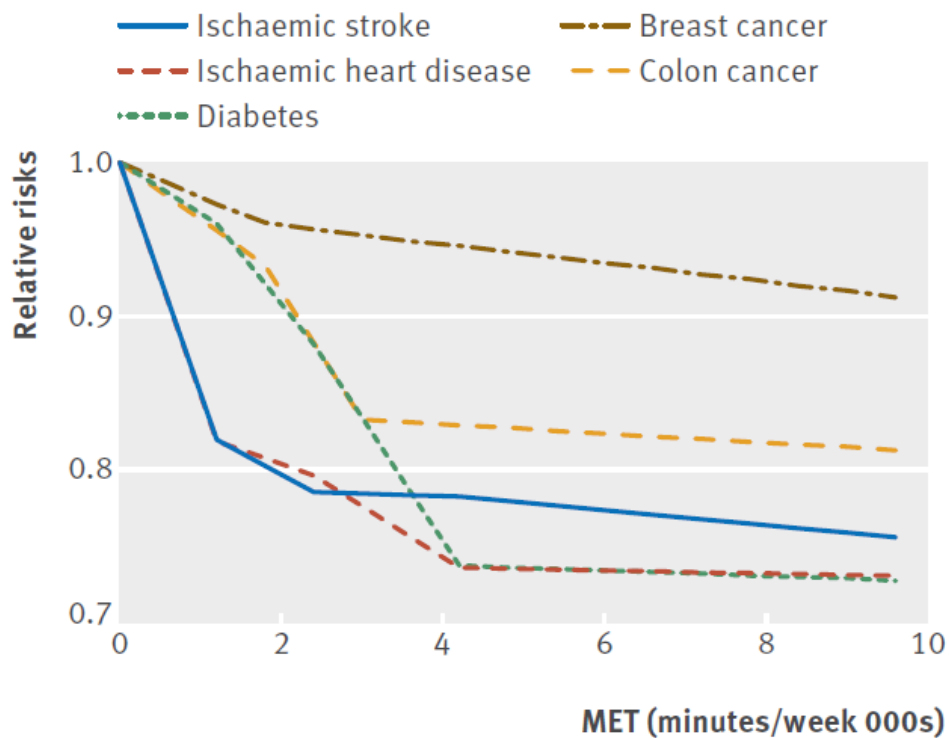
<sup>9</sup> Celis-Morales CA, Lyall DM, Welsh P, et al. Association between active commuting and incident cardiovascular disease, cancer, and mortality: prospective cohort study. *BMJ* 2017;357:j1456. doi: 10.1136/bmj.j1456



- The risk of cardiovascular disease by 46%

Commenting on this study, the Guardian said, “If a magic pill were invented that could generate all of these benefits, we would be falling over ourselves to buy it.”<sup>10</sup>

A summary of 174 individual studies have given us insight into how the risk of cancer, diabetes, and ischaemic heart disease reduces with exercise. The message is clear: the more the better<sup>11</sup>:



Exercise in general has been shown to reduce the risk of stroke by 25%.<sup>12</sup>

Cycling has clear benefits to business. A 3-year study in Cambridge, UK, found a 54% in sickness absence from work each year<sup>13</sup>.

A recent, large study published in the British Medical Journal examined the effect of active transport (cycling and walking) on the obesity epidemic and compared this affect with sport involvement.<sup>14</sup>

<sup>10</sup> <https://www.theguardian.com/environment/bike-blog/2017/apr/20/its-good-to-hear-cycling-to-work-reduces-your-risk-of-dying-but-thats-not-why-i-do-it>

<sup>11</sup> Kyu HH, Bachman VF, Alexander LT, et al. Physical activity and risk of breast cancer, colon cancer, diabetes, ischemic heart disease, and ischemic stroke events: systematic review and dose-response meta-analysis for the Global Burden of Disease Study 2013. *BMJ* 2016;354:i3857. doi: 10.1136/bmj.i3857

<sup>12</sup> Lee CD, Folsom AR, Blair SN, “Physical Activity and Stroke Risk”, *Stroke*. 2003;34:2475-2482

<sup>13</sup> Mytton OT, Panter J, Ogilvie D. Longitudinal associations of active commuting with wellbeing and sickness absence. *Prev Med* 2016;84:19-26. doi: 10.1016/j.ypmed.2015.12.010

<sup>14</sup> Associations between active commuting, body fat, and body mass index: population based, cross sectional study in the United Kingdom, *BMJ* 2014;349:g4887 doi: 10.1136/bmj.g4887 (Published 19 August 2014)

	Reduction in BMI		Reduction in Percentage Body Fat	
	Men	Women	Men	Women
Attributable to active transport	-0.97	-0.87	-1.35	-1.37
Attributable to involvement in sport	-0.10	-0.26	-0.19	-0.34

These findings show a robust, independent association between active commuting and two objective markers of obesity, BMI and percentage body fat. Those who used active modes had a lower BMI and percentage body fat compared with those who used private transport.

These differences are larger than the effect sizes seen in most individually focused interventions based on diet and physical activity to prevent overweight and obesity.<sup>15</sup> They are also approximately four times larger than the reductions in obesity due to involvement in sport.

Active commuting to work has been strongly recommended by the UK National Institute for Health and Care Excellence (NICE) as a feasible way of incorporating greater levels of physical activity into daily life.<sup>16</sup> Policies designed to effect a population-level modal shift to more active modes of work commuting therefore present major opportunities for public health improvement.

Studies consistently suggest that use of active commuting modes translates into higher levels of overall individual physical activity.<sup>17 18 19</sup> A recent UK study provided 103 commuters with accelerometers for seven days and found that total weekday physical activity was 45% higher in participants who walked or cycled to work compared with those who commuted by car, while no differences in sedentary activity or weekend physical activity were observed between the two groups.<sup>9</sup>

There is a now established benefit from physical activity in reducing dementia: “Meta-analyses of longitudinal observational studies of 1–21 years duration showed exercise to be associated with reduced risk of dementia.<sup>2</sup> A further overview of systematic reviews concluded that there is convincing evidence for physical activity protecting against clinically diagnosed Alzheimer’s disease.”<sup>20</sup>

### Is Cycling Safe?

A New Zealand study of ACC injury risks of road cycling 3 times a week, compared to various other activities, found cycling had similar risks to DIY twice a month, 140-fold fewer injuries than skiing 4 – 5 times a year, and 530-fold fewer injuries than playing rugby every 3 weeks.

<sup>15</sup> Stephens K, Cobiac J, Veerman J. Improving diet and physical activity to reduce population prevalence of overweight and obesity: an overview of current evidence. *Prev Med* 2014;15:167-78.

<sup>16</sup> National Institute for Health and Care Excellence. Walking and cycling: local measures to promote walking and cycling as forms of travel or recreation (public health guidance 41). NICE, 2012. [www.nice.org.uk/guidance/ph41](http://www.nice.org.uk/guidance/ph41).

<sup>17</sup> Faulkner GE, Buliung RN, Flora PK, Fusco C. Active school transport, physical activity levels and body weight of children and youth: a systematic review. *Prev Med* 2009;48:3-8.

<sup>18</sup> Ogilvie D, Foster CE, Rothnie H, Cavill N, Hamilton V, Fitzsimons CF, et al. Interventions to promote walking: systematic review. *BMJ* 2007;334:1204.

<sup>19</sup> Audrey S, Procter S, Cooper AR. The contribution of walking to work to adult physical activity levels: a cross sectional study. *Int J Behav Nutr Phys Act* 2014;11:37

<sup>20</sup> Livingstone, G et al, Dementia prevention, intervention, and care: 2020 report of the Lancet Commission, *The Lancet*, Vol 396 August 8, 2020

The study concludes that fear of cycling in car-dependent NZ arise from causes other than the actual risk of injury.<sup>21</sup>

### **Achieving Mode Shift**

You have the vision – this has all been agreed in policy statements by councils for some years.

However, it's still not happening. This is a complex process and a “new way of doing business” for council staff, engineering consultants and contractors, community consultation processes, and local businesses.

We are saddened – and your people's health has suffered as a result – that the development of cycling infrastructure remains subject to piecemeal planning and disconnected networks with variable levels of service.

This is also about much more than capital works projects. It is about changing culture and behaviours. It is about changing the choices each of us make each time we leave our homes to go anywhere.

This requires leadership – looking at this evidence and making our cities and roads the best they can be for everyone – not just motorists.

We need to – urgently – *reduce* our dependence on private motor vehicles – they are the key driver of congestion, they are bad for our fragile environment, and they are bad for our health.

Instead, the heart of our transport plan must be to facilitate and promote rapid modal shift.

Put simply, we must change. And quickly.

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<sup>21</sup> Chieng M, Lai H, Woodward A. How dangerous is cycling in New Zealand? *Journal of Transport & Health* 2017 doi: 10.1016/j.jth.2017.02.008

**From:** Deirdre Douglas [REDACTED]  
**Sent:** Saturday, September 2, 2023 8:50 PM  
**To:** haveyoursay <haveyoursay@huttcity.govt.nz>  
**Subject:** [EXTERNAL] Petone Wharf

Please repair or replace Petone Wharf.

There's just too much history to abandon.

I believe East by West ferries would be able to use the Wharf to take commuters to Eastbourne and Wellington thereby reducing traffic on the roads.

People have used the Wharf for a long time for fishing, relaxing and just walking and having quality family time.

I have also been told that in the event of the wharves in Wellington not being able to be used that some ships can be unloaded at the Wharf.

It's an iconic part of Petone that people all over the region visit bringing themselves and their money.

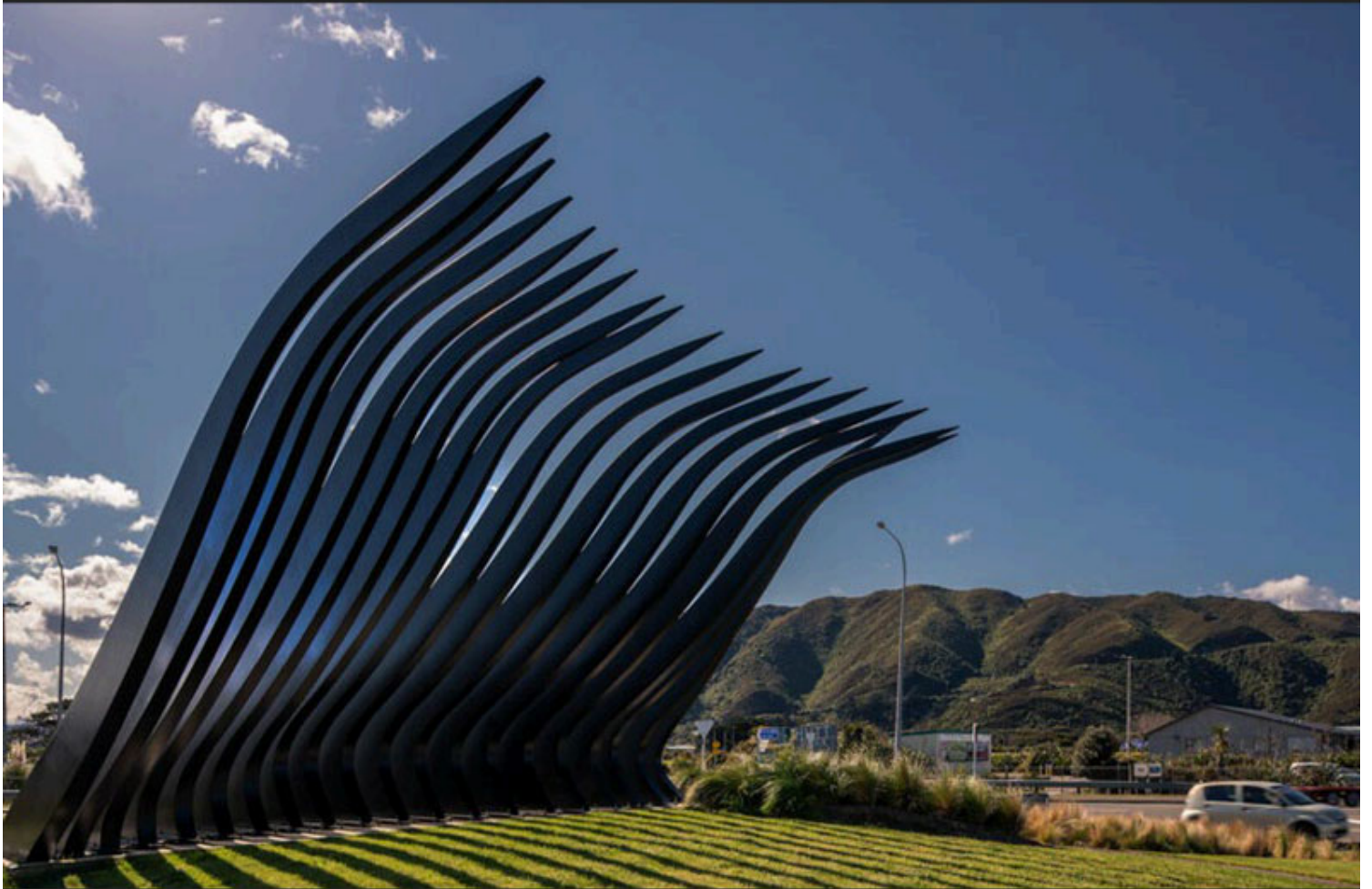
Please repair or rebuild. Do not abandon.

Thank you

Deirdre

# Long Term Plan Submission

## E Tu Awaikairangi Public Art Trust



May 2024

# TEN YEAR PLAN

## SUBMISSION OF E TU AWAKAIRANGI HUTT PUBLIC ART TRUST

1. E Tu Awakairangi Hutt Public Art Trust has been the Council's delivery agent for public art in Hutt City, since its formation in 2007.
2. The Trust's vision is an exciting city with public art that celebrates our people, history, environment, and diversity, and encourages curiosity and wonder. The Trust aims to inspire and connect people through public art. Creative cities do well and attract population and business.
3. Trustees can remind Councillors of the role they have played and some of their past contributions over the last 15 years to public art in the City:
  - a. "Lightwing" at Seaview roundabout;
  - b. "Smiling Windmills" and "T-Rex" at Avalon Park;
  - c. "Cube 4" at Hutt Park;
  - d. "Elevating Worm" at Stokes Valley;
  - e. "Fallen Robot" outside Dowse Art Museum;
  - f. Carved stones from Griffins factory on bank of Waiwhetu stream; and
  - g. "Big Man" outside Hutt Hospital.



4. The Trust is conscious of the City's current financial position. E Tu's Chair met the Head of Arts & Culture for Hutt City some weeks ago and they agreed it was not appropriate for the Trust to seek Council funding for the next two -three years.
5. The Trust sees this as a hiatus in the ten-year plan and our request is to receive Council funding again from 2027.
6. E Tu has a number of installations underway.
  1. Work with a recycling theme outside the "Remakery" cafe and community centre in Waiwhetu Road.
  2. We are about to install a public artwork called "GRAND" outside the premises of the Irish Society in Raroa Road. The artist wanted the work to remain in Hutt City. The work was originally created for and displayed at the Dowse.
  3. We are about to project some light-based works onto suitable large walls in the city.
  4. The Trust is also working with the Riverlink team and hope to use our funding as seed capital for public artworks for Riverlink. We hope to assist Len Hetet with some existing works we own for a project he plans.
7. The Trust is a charity. All trustees provide their time free of charge and the Trust has no administration expenses. Our small team brings together a combination of commitment, experience and expertise in issuing expressions of interest, procurement, project management, stakeholder management and iwi liaison, landscape design and engineering. Funds obtained are used only for public art works and the presentation of those works.
8. Council's draft Arts and Culture Framework references the work undertaken by the Trust in stating that the Council's collection includes 'contemporary artworks that have been donated by E Tu Awakairangi, an independent sculpture trust that has received grants from council' (p9).
9. As a recognised partner of Council, the Trust would like to continue to work under Council's Arts and Culture Framework and offer its arts expertise for future developments and projects.
10. The independent charity status we have has allowed us to supplement Hutt City Council funding with contributions in kind valuing many thousands of dollars. This added value comes via our strong relationships with manufacturers and installers across the City as well as more direct fund-raising activities.
11. In conclusion, we seek inclusion in the ten-year plan from 2027 onwards, after an entirely appropriate present hiatus.
12. E Tu Trustees would be pleased to talk to this submission and wish to be heard as part of Council's Long Term Plan oral submission process.

We can be contacted on [info@huttcity.govt.nz](mailto:info@huttcity.govt.nz)

9 April 2024

Hutt City Council  
C/- Elected Representatives; Chief Executive; Corporate Leadership Team  
30 Laings Road  
Lower Hutt

Re: Proposed 2024 Development Contributions policy

Elected representatives,

The authors of this letter comprise the largest residential property developers within Lower Hutt City. Collectively, we have delivered over 1,000 new homes in the past 2 years and as such, we take a keen interest in the policy settings which underpin land development.

As part of HCC's Long-Term Plan (LTP) consultation, Council is looking to dramatically increase the Development Contributions payable on residential development within Lower Hutt. An excerpt from the LTP subcommittee agenda, dated 20 March 2024, is provided in Table 1 which outlines the extent of these increases:

Table 1: An overview of the projected DC increases from 1 July 2024

**Table 2: Comparison of proposed charges (applicable 1 July 2024)**

Catchment		Eastbourne	Stokes Valley	Valley Floor	Waianakia	Western Hills	Rural	Districtwide
DC per EHU a development will pay in each catchment	Current policy	\$7,802	\$6,954	\$14,779	\$26,000	\$8,257	\$2,497	\$6,272
	Revised proposed charges	\$19,736	\$18,608	\$53,003	\$11,956	\$19,233	\$5,275	\$16,683
	Increase compared to current policy	\$11,934	\$11,654	\$38,224	\$15,956	\$10,976	\$2,778	\$10,411
	20 February charges approved by Council	\$13,931	\$14,083	\$46,670	\$34,751	\$14,707	\$5,570	\$10,878
	Change compared to 20 Feb charges	\$5,805	\$4,525	\$6,333	\$7,205	\$1,526	(\$295)	\$5,805

Implementing the DC policy as currently drafted will be a roadblock to new residential development occurring within Lower Hutt. If the new DCs are introduced as currently proposed, we expect the following will occur:

1. Firstly, HCC will be forced to contend with an influx of projects by the 30 June 2024 cutoff date. This will cause significant issues for your regulatory teams and associated processing timeframes, which will flow into project delays and additional costs for local developers.
2. Following 1 July 2024, the pipeline of new residential projects in the city will effectively halt. This will be particularly pronounced on the Valley Floor - in direct conflict with HCC's commitment to building 3,500 homes within the Infrastructure Acceleration Fund (IAF) catchment.



Property Development is an exceptionally challenging industry to be in at the moment. Sales prices are significantly down from where they were in 2021, the industry is continuing to face cost pressures and low consumer confidence means pre-sales are difficult to come by. The cumulative effect of this is that development feasibilities are very difficult to make stack up for all projects, which is why there has been such a sharp reduction in new consents over the past 2 years<sup>1</sup>.

All of this means there is simply no room in our current development feasibilities to accommodate an increase of up to \$ 38,224 per dwelling. Instead, if the DC Policy is introduced, we will almost certainly be forced to cease looking at new development sites in Lower Hutt until there is a substantial increase in sales prices to offset the additional costs associated with the DCs. In practice, this means very few new builds will come to market in the years following 1 July 2024 and the housing deficit within Lower Hutt will continue to grow<sup>2</sup>.

This is not just an issue from a housing supply perspective. HCC's financial modelling shows that the increase in DCs has been modelled to result in revenue of approximately \$146m NZD between 2024 and 2034 – based on an assumption that an additional 3,900 homes will be built. Between 2024 and 2029 alone, you have modelled an additional 1,877 homes across the district, with 943 of these located in the Valley Floor<sup>3</sup>. This means that over one third of your projected revenue (\$49.98m) is expected to come from development within the Valley Floor between now and 2029. We have strong reservations about the likelihood of these revenues being realised. The substantial drop in new housing consents will result in a corresponding drop in DC revenue, which we expect will place further financial strain on HCC finances.

### **Our suggested approach**

We acknowledge that the DC policy comes from an underlying philosophy that growth should pay for growth-related infrastructure. In principle, we agree with this philosophy however the current implementation is poorly considered and belies a lack of understanding as to our core business model.

The major issue we have is largely a matter of timing. Introducing such a significant increase in the DCs overnight will always present challenges, but doing so whilst the residential property market is at the bottom of a cycle and development feasibilities are already showing extremely thin margins is foolhardy. If there is not sufficient financial headroom, we will simply stop bringing new houses to market and look to deploy our capital elsewhere.

Instead, we suggest the following approach:

1. The introduction of the higher DCs figure is deferred for 18 months with the current DCs retained during this period. All projections are that we are now at (or near) the bottom of the property cycle and that sale prices are expected to rise gradually over the next 12-18 months. Once we are through this part of the property cycle and sales pricing starts to improve slightly, we expect that our development feasibilities will be able to accommodate an increase to the DCs without necessitating the cancellation of projects.
2. Rather than introducing a single increase in the DCs, we recommend phasing the increase in over several years. Our view is that deferring the introduction of the policy by 18-months,

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<sup>1</sup> Consents issued for new dwellings are down almost 50% on a year ago.

<sup>2</sup> Refer HCC's own research on this topic [here](#)

<sup>3</sup> Refer Paragraph 129 of the Draft Development and Financial contributions policy 2024

followed by annual increases of 25% of the proposed increase over 4-years would make the increase much easier to assimilate into the project feasibilities without necessitating the cancellation of projects, as well as alleviating the pressure on HCC's regulatory teams. In practice this would look as follows:

- 20 December 2025: 25% of the projected increase comes into force.
  - 20 December 2026: 25% of the projected increase comes into force (i.e. 50% of the total cost).
  - 20 December 2027: 25% of the projected increase comes into force (i.e. 75% of the total cost).
  - 20 December 2028: 25% of the projected increase comes into force (i.e. 100% of the total cost).
3. HCC should consider transitional provisions which acknowledge that our ability to rely on the infrastructure being funded by these DCs will be limited until the completion of the capital works. In practice, this means we will have projects for which we are forced to pay higher DCs, whilst also needing to pay for private infrastructure due to the existing network capacity constraints (i.e. private wastewater tanks and/or stormwater detention). This is not an equitable payment regime, and instead we believe we should be able to obtain partial remissions of DCs where we can demonstrate that we have provided private infrastructure which alleviates capacity constraints on the public network.
4. Lastly, given HCC's aspirations to increase the number of homes within the IAF project footprint it should consider how the DCs are split across the catchments within the city. The substantial increase in DCs on the Valley Floor is likely to act as a strong disincentive to development and is at odds with HCC's goal of facilitating 3,500 new homes in this location.

We implore you to listen to the messaging above. We're willing to pay our share, but the policy as notified will stifle the growth of Hutt City for the foreseeable future.

Kind regards,



Name: Patrick Faisandier

Organisation: Faisandier Group



Name: Mark Cook

Organisation: Palmer & Cook



Name: Michael Friday

Organisation: Friday Homes



Name: Blair Chappell

Organisation: Williams Corporation



Name: Kevin Whittle

Organisation: Jackson Holdings Limited

## **HCC Long-Term Plan 2024-2034 Consultation**

Thank you for the opportunity to comment on your Long Term Plan. I would like to focus on the issues that face Petone in particular.

### **Petone Wharf**

It will come as no surprise to you that I am fully in favour and supportive of efforts to retain Petone Wharf. The consultation document in presenting two wharf options interspersed with options for the library and grandstand has left a confusing smorgasbord that I know has left many residents confused.

It seems that right until the last day of consultation more details were emerging in response to questions raised during the consultation process on the wharf and the other Petone issues under discussion. This hardly makes for a fully informed consideration and debate on these treasured Petone assets.

It is ridiculous to spend \$6 million (or will it be an even greater amount?) to demolish the wharf and replace it with some token memorial. If money had been spent on adequate maintenance and the wharf situation addressed in a timely manner by previous Council administrations, we would not find ourselves in this position. Every effort should be made to explore alternative restoration options, and the Council should take into account the clear feelings of not just local residents, but the wider community that have been expressed in submissions, social media, and a very visible community walk to the wharf.

I can only say again, **SAVE OUR WHARF!**

### **Petone Library**

As an avid user of Petone Library, it would be great to see an enhanced library building that makes better use of the Britannia Street frontage and layout, as well as updating vital maintenance. This has been raised over the years in numerous workshops. Certainly revitalised room space for community use, heritage displays, and staff areas is needed, however, I do not want to see a duplication of the Petone Community House facilities.

### **Petone Grandstand**

As with many buildings in the Wellington region that have been assessed for earthquake standards, there seems to be variation in engineers reports and earthquake ratings. For most people, the existing grandstand with a new light-weight roof, provision of the same amount of seating, and perhaps some updated changing rooms will be perfectly adequate, and spectators just want to see progress rather than an empty grandstand.

**Paid Parking in Petone**

The extension of paid parking to Petone in any form is a very detrimental move to consider in the current economic environment. Both in terms of the impact on retailers, their staff, and the many people who travel to Petone, both from Hutt City and further afield, the imposition of a seven-day a week parking charge could be the final straw, that deters them from visiting, spending their dollars, or continuing in business.

Should paid parking be introduced, there could well be a side-effect with drivers attempting to find free parks in already crowded narrow side-streets. There is also the question of inequality in that the parking charges have been indiscriminately applied to some parts of Petone and not others, and equally not in other suburban shopping areas of Hutt City. There is no guarantee that any revenue raised would be spent on Jackson Street.

Simply put, this is not the right time to consider paid parking.

**I wish to speak to my submission.**

Kind regards,  
Mike.

**Mike Fisher**  
Petone





## Petition Against Implementing Paid Parking in Petone Beachside Suburb

To whom it may concern – mainly, Hutt City Council!

We, the undersigned, stand in firm opposition to the proposed implementation of paid parking in our beloved beachside suburb of Petone. While we understand the need for revenue generation, we firmly believe that instituting paid parking would have detrimental effects on our community, particularly on our small businesses. Petone is not just a place; it's a vibrant community where locals and visitors alike come to enjoy the beach, the warmth of small businesses, and the sense of belonging that comes from living in a tight-knit neighbourhood.

Paid parking threatens to undermine these qualities in several significant ways:

**Harm to Small Businesses:** Our small businesses are the lifeblood of Petone. They contribute to the unique character of our suburb and provide employment opportunities for locals. Implementing paid parking would discourage potential customers from patronizing these establishments. This would inevitably lead to a decline in revenue for small businesses.

As the proud owner of Flowers Et Cetera, a beloved floral establishment that has graced Lower Hutt/Petone for four decades, I am deeply concerned about the proposed implementation of paid parking in our small beachside suburb. Flowers Et Cetera stands as a testament to the resilience and dedication of Petone's small business owners. However, the introduction of paid parking threatens to damage everything we have worked so hard to build.

One of the key aspects of our business is our delivery service, which sees us dispatching anywhere from 10 to 30 orders throughout the day to customers across Petone and beyond. We rely on the carparks near our shop to load and unload our delicate product and deliveries in an efficient manner. Introducing paid parking would exponentially increase our operating costs, pushing them to a near unsustainable level. In an already dire economic climate, where small businesses are grappling with rising expenses and dwindling revenues, such a burden could spell disaster for establishments like ours.

**Deterring Visitors:** Implementing paid parking would undoubtedly deter visitors from coming to Petone. Many tourists and day-trippers choose Petone for its accessible beach and charming shops precisely because it offers a respite from the hustle and bustle of nearby urban areas. Charging for parking would discourage these visitors, leading to a decline in foot traffic for our businesses.

**Burden on Residents:** Paid parking would also place an undue burden on Petone residents of surrounding streets, streets with no limit and no parking fees. Those who live in the vicinity of popular spots or near the shops, who rely on street parking may find themselves competing for limited spaces, exacerbating an already challenging situation.

**Social Equity Concerns:** Charging for parking disproportionately affects low-income individuals and families who may not have the means to pay for parking fees. Access to public spaces, including beaches and local businesses, should not be contingent on one's ability to pay. Instituting paid parking would only serve to further marginalize already vulnerable members of our community.

In conclusion, the detrimental effects of paid parking extend far beyond the confines of our individual businesses. They have ripple effects that permeate every aspect of our community. We urge Hutt City Council to reconsider the proposal to introduce paid parking in Petone. Instead, we call for alternative solutions that prioritize the well-being of our community and support the vitality of our small businesses. Let's preserve the essence of Petone as a welcoming haven for all, where the beauty of the beach and the warmth of our local businesses remain accessible to everyone.

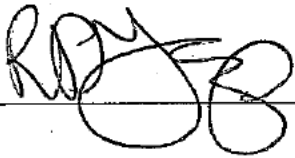
Sincerely,

The Team at

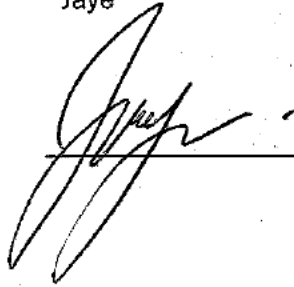
Flowers Et Cetera 2021 Ltd -

Signed:

Rosie (Owner)



Jaye



Katherine



**From:** Barry Foote <[REDACTED]>  
**Sent:** Friday, April 5, 2024 12:15 PM  
**To:** haveyoursay <haveyoursay@huttcity.govt.nz>  
**Subject:** [EXTERNAL] Petone's Star Shining Brighter.

Hi Hutt City Council.

[REDACTED] said it would be a good idea if i contacted you about ideas for celebrating the 200th Anniversary of New Zealand. I am really interested in putting a good word in for Petone, particularly as it is where some of the earliest settlers came ashore and were greeted by Maoris from the Petone Pa.

These people sailed across perilous seas and dangers into the unknown to start a new life. I wonder what it must have been like as they came ashore on their boats after disembarking from their ships after those many months at sea. Their fears and apprehensions about what the future may hold for them and their families in this new land.

I am really interested in seeing an extension to the Settlers Museum. Petone really doesn't have the distinction it deserves. It has a fascinating history.

Possibly I may use the wrong words. Possibly people may interpret the things i say wrong. I know there's a lot of different views and divisions about things out there.

I want to look past the politics and divisions and just be proud that I am a New Zealander and at our history that we all share. That is what I believe the 200th year celebrations should be centred on. If we cannot live together then the future is not bright.

Hope Petone's star shines brighter in the night sky in the future on the 200th Anniversary of New Zealand.

(That is my quote for Petone.)

P.S This is a quiet word in your ear.

Kind regards

Barry Foote

## Hutt City Council Long Term Plan Submission

Name: Stephen Garlick

Email Address: [stephen.jg17@gmail.com](mailto:stephen.jg17@gmail.com)

I live in Hutt City

I do not seek to appear before Council to speak about my submission but would be happy to do so to answer questions if that would be helpful.

### Ratonga wai - Water services

#### 1. What is your preferred option for how we invest in water services for the next 10 years?

- Option 1: I prefer an increased budget of \$1.6 billion over 10 years, including water meters, and additional investment of \$2.8 million to fast track fixing the leaks. *This is Council's preferred option*
- Option 2: I prefer an increased budget of \$2.6 billion over 10 years including water meters, and maximum renewals.
- I have no preference.

The Options provided appear designed to skew the result in the direction Council wants, rather than to identify what the Community actually thinks. There are obviously options to do something different to the 2 Options set out in the consultation document. It seems to be a matter of “*We will not ask the question (by presenting other options) as we think we may not like the probable answer*”. I do not think the Council is providing a fair consultation process on this.

#### **Water Meters**

I do not believe an adequate case has been made to justify the expenditure of \$78m on domestic water meters by Hutt City Council ratepayers.

While universal water meters will obviously provide detailed information on areas of high water usage including leaks in private property, smart water managers can get a pretty good picture on areas of high water usage and leakage through a good area metering programme on the public water mains accompanied by smart analysis at a far lower cost than with universal water meters.

Universal water meters really only come into their own when used to support volumetric charging for water which I understand from the consultation document is not being proposed (at least not currently).

The expenditure of \$78m by Hutt City ratepayers on water meters would not be a one off cost as of course water meters don't last forever. Valuations of water infrastructure typically assign an expected life in the range 14-20 years to domestic water meters. This means Hutt City ratepayers will be facing very substantial ongoing costs in the future as these water meters wear out and need replacing (about every 14-20 years) (although replacing the meters in the future



will be less expensive in many cases than the initial installation as the initial installation will require installing manifold tobies in many cases).

These are costs which Hutt City ratepayers currently don't face. They will be an additional burden on our struggling ratepayers.

I am not necessarily opposed to domestic water meters but they should only be considered when it can be clearly demonstrated that the cost to ratepayers from having water meters is less than the cost of not having them (such as by avoiding the need to build a new, additional water treatment plant). I don't think this has been adequately demonstrated, and certainly not to the level to justify spending \$78m.

### **Replacement of water infrastructure**

It was known 25 years ago that by the 2020's Hutt City would be facing a peak in renewals of its water infrastructure. This reflects water infrastructure constructed in the building boom following the end of the Second World War reaching the end of its useful life.

It is extremely disappointing that Hutt City Council does not appear to have planned adequately for this peak in the renewal cycle and now appears to be facing something of a crisis. Fortunately this peak will not last forever – the long term renewal cycle is not uniform but comprises peaks and troughs.

I do know that 20 years ago water supply asset renewals were being funded at a sustainable level, consistent with the principle of intergenerational equity, through the uniform annual water charge and that back then, more was being taken from the ratepayers for water infrastructure renewal than actually needed to be spent on replacing pipes and other water assets (fewer assets had reached the end of their useful lives). One of the reasons that back then we had a funding surplus in water renewals was that we were at a much lower point on the asset renewal cycle than we are now, but I believe this is not the only reason for the problems we are now facing. Something seems to have gone seriously off the rails over the last 20 years.

A factor contributing to the problems we face is the high level of costs for physical works. I am not convinced we are getting good value from the types of contracts we now have for physical works on the water infrastructure. As an example I am aware that about 10 years ago, the contract for maintenance and operation of the area's water networks was delivering millions of dollars in savings to ratepayers while achieving a higher level of performance than we are now receiving. This contract was replaced by Wellington Water for the reason that it was not perceived to support a collaborative working relationship with the contractor. A result of this decision has been much higher costs and much lower levels of contract performance. I understand that an independent report on this contract by consultants FieldForce4 concluded that the *"Trusted Advisor Delivery Model"* introduced by Wellington Water *"seemed to have replaced a commercially sound delivery contract/agreement with explicit obligations by both parties."* It is ironic that the previous contract which was replaced by Wellington Water was a *"commercially sound delivery contract/agreement with explicit obligations by both parties."* It is also interesting to note that the *"Trusted Advisor Delivery Model"* favoured by Wellington Water seems to follow a similar contracting philosophy to that adopted by NZTA Waka Kotahi a number of years ago for the maintenance of the state highways. Since 2018, expenditure on maintenance of the state highways has risen by around 65% and yet the highways are falling apart. Seems like a familiar picture?? I see the consultation document states that *"839 leaks are currently across our City (as of February 2024) and this number won't come down without*

*additional funding and resources*". I don't accept this – what about a more efficient contracting model for responding to these as per the FieldForce4 report.

A further matter is that the Principle of Intergenerational Equity in paying for services does not appear to be reflected in either of the water expenditure options put forward by the Council. This is the principle whereby the amount which people pay for services should reflect the level of benefit they receive from those services and not the peaks and troughs in the cycle of expenditure required for the assets delivering those services.

To give an example of what I mean, suppose we have a water pipe with a life of 100 years. Each year people connected to that pipe consume one hundredth of the value contained in that pipe asset and after 100 years the pipe will need to be replaced. Should the people living in years 1-99 of the pipe's life pay nothing towards the replacement of the pipe (because it doesn't need replacing in that period) and the unfortunate people living in year 100 pick up the full cost or should funding for the future cost of replacing the pipe be spread over the full 100 years, reflecting that people living in year 1 received just as much benefit from the pipe as those living in year 100. The Council options appear to be placing an undue burden on the current generation.

I appreciate that the Council does not wish to adopt what may be referred to as "*jam-jar accounting*". However when money taken off the ratepayers for a specific purpose such as replacing water pipes (such as through the water UAC) is used for other purposes (swimming pools, offices etc etc, everything except water) it needs to be recognised that this is not "*free money*" but a debt that will need to be repaid in the future when needed for its original purpose. This does not appear to have been done and hence the funding challenges we now face are greater than they needed to be.

I understand that one of the arguments being made for the proposed high level of water network renewals is the excessive loss of water from the networked reticulation system (this is the Council pipes – not pipes in private property). I note from Pūrongo ā-Tau – Annual Report 2022-23 that the water loss from the Council water network increased from a reported 20% in 2021-2022 to 37% in 2022-2023 (although in the commentary it states it increased from 31% to 37%??). I am very surprised that there is such a substantial difference between the 2021-2022 and 2022-2023 reported figures with the increase from 20% to 37% representing an 85% increase in the reported loss rate over 12 months. A reason given for this increase is improved methodology for calculating the loss. I struggle to see how this can be correct.

I understand that there are 4 variables in this calculation:

1. The volume of water from the bulk supply entering the Hutt City Water network (this is metered and should be known very accurately)
2. The volume of commercial and industrial water usage (water usage which is not domestic in nature is already metered and volumes should be known fairly accurately)
3. The volume of domestic water usage (The Annual Report states a figure of 410 litres per day average drinking water consumption in Hutt City in 2022-2023. This will include water leakage and wastage within private property). We know the population so the volume of domestic water consumption can be reasonably easily calculated.
4. The leakage in the networked reticulation system (the Council system) will be the difference between 1 and the combined sum of 2&3.

Unless there has been a major variation in 1, 2 and or 3 since 2021-2022 it appears that there may be a problem with the 2022-2023 calculated loss rate of 37%.

The reason I mention this is that we need to very confident in the data we are using to justify a decision to spend hundreds of millions of dollars (potentially billions of ratepayer funds). I am not sure that the Council can be confident in this data.

As an aside, when looking at this I noted that one of the measures in the Annual Report for Water Supply was the “Average drinking water consumption per resident per day” with a 2022-2023 target of “≤ 385 litres/ resident /day” The 2022-2023 result is shown as 410 litres with a green tick beside it presumably indicating the target was achieved. Have I got this wrong but that looks like a fail to me. Is the Annual Report correct?

Measure	Target	Achieved	Achieved	Year End vs Target
	2022-23	2021-22	2022-23	2022-23
<b>We need to ensure we have a sustainable water supply for the future</b>				
Average drinking water consumption per resident per day.	≤ 385 litres / resident / day	381 litres	410 litres	✓

Errors such as this shake confidence in the quality of the data the Council is basing major decisions on.

I am skeptical about whether there is capacity in the construction market to carry out \$160m in water infrastructure works in Hutt City year after year for 10 years (Option 1) let alone \$260m in water infrastructure works year after year (Option 2). Other cities in the region will be facing similar issues so we will not have the construction market to ourselves. I am therefore not convinced that these are practically executable options. Overloading the capacity of the local construction industry to this extent will of course push costs up further (I believe they are already at excessive levels) and options to mitigate this are unclear.

I believe that before we can responsibly consider throwing massive sums at the water systems we need to see:

- Long term sustainable funding models for each of the 3 waters, incorporating the principle of intergenerational equity.
- An investigation into whether we are getting good value from current contracting models and if not changes that need be made to deliver better value.

I therefore strongly oppose both options proposed by Council. Ratepayers are struggling and we need to be confident we are delivering the best possible value from each rates dollar spent – at present ratepayers cannot have this confidence.

### **Stink from the Seaview Wastewater Plant**

The Council needs to do something about the stench from Seaview Wastewater Plant – this has been going on for years (at least 15). In recent times I have been spending quite a bit of time in the Seaview area and find the smell nauseating. I have discussed this with other people in the

area and the response is generally along the lines: *“it’s a waste of time complaining to the Council – we have been doing that for years and they don’t seem interested in doing anything about it”*.

Some of you may recall that before the plant was built in the late 1990’s there was considerable debate about whether the new treatment plant should be sited in Seaview or in Gollins Valley past the end of Eastbourne. The concern expressed by many people was that there would be an offensive odour from the plant which would affect the Seaview area. Absolute assurances were given at the time by the *“expert”* consultants that this would not happen and that modern technologies would ensure there would be no offensive odours beyond the boundaries of the treatment plant property. On the basis of these assurances Seaview was selected as it offered other advantages over the remote Gollins Valley site. As we now know the assurances given back then have turned out to be worthless. Why is this? I can see 3 possibilities:

- Defective Design - The original designers of the odour control system designed something that simply would not work.
- Defective Construction - The contractors who built the odour control system did not do so correctly in accordance with the design.
- Inadequate/incorrect maintenance and operation –The odour control system is not being adequately maintained and operated by the Contractor operating the Seaview Treatment Plant so it functions as intended.

Hutt City Council needs to determine which of these it is (it could be a combination) and hold someone accountable for the disgraceful situation we find ourselves in.

However I see that the Council responses to this problem appear to be along the lines to advise residents to *“stop pooing”* or *“hope like hell the wind will blow the other way”*. Really?

I imagine that the Council response to this problem may be *“the odour control system is reaching the end of its useful life”* I point out that this is not a new problem but has in my experience been going on for at least 15 years. I understand some significant work was carried out late last year on the odour control system – whatever was done definitely hasn’t worked. We seem to be pouring ratepayer funds at solutions that don’t work.

I believe Hutt City Council should be a model of good neighborliness. With respect to this issue it has been far from that. I also expect that the current situation will be in breach of Resource Consents for the Seaview Treatment Plant. It is damaging the credibility of the Council and the reputation of the City. I see that Hutt City was included in a newspaper article in January titled *“Whoever smelt it dealt it: The history of smelly towns in Aotearoa”*. Is this how we want our City to be known? This problem has gone on far too long. It needs to be fixed, once and for all.

## Ngā hua pūmau i Pito One - Petone assets

### 1. What is your preferred option for undertaking work on the three Petone assets – the library building, the grandstand and the wharf?

Option 1: *This is Council's preferred option*

Library: A new, multi-purpose, shared facility potentially delivered in partnership;

Wharf: Demolish the wharf and install a memorial display;

Petone Recreation Ground grandstand: Demolish seating and refurbish existing ground floor facilities.

Option 2:

Library: Refurbish the existing building including minor internal layout changes;

Wharf: Demolish the wharf, install a memorial display and make improvements to the Esplanade;

Petone Recreation Ground grandstand: Demolish the entire grandstand, rebuild changing rooms and provide some seating.

### Petone Wharf

As with Water Services, there does not appear to be a fair consultation process concerning this matter. The Options provided with respect to Petone Wharf are effectively.

- Demolish Petone Wharf
- or
- Demolish Petone Wharf (and spend some money on the Esplanade)

What sort of consultation is this? If the Council has already decided it is going to demolish the wharf, why go through the charade of pretending to consult on it.

The options presented appear designed to skew the result in the direction Council wants, rather than to reflect what the Community actually thinks. It seems that the Council wants to be able to say something along the lines “90% of responses received favoured the option which provided for demolition of the wharf”. This would be a hardly surprising result given that the two options provided in the consultation document both propose this.

What about an option of “Fix the heritage wharf to be enjoyed by future generations”. Why was an option along these lines not included? It again seems to be a matter of “We will not ask the question as we think we may not like the probable answer”. I can’t see how this could possibly be considered to be a fair consultation process.

As you will have gathered I am strongly opposed to the two Council options to spend around \$6m on demolishing this heritage asset.

The Petone wharf has been much loved by many generations of young (and not so young) fishermen and the many people who enjoy a stroll along it. It is a potential stop off point for harbour ferries and is likely to be an important transport link in a major disaster in the

Wellington Region. I used to enjoy flying into Wellington at night with the green lights on the wharf indicating I was nearly home. The Petone Wharf has been the subject of many paintings and photographs and is synonymous with Petone.

It is sad the wharf has it been allowed to get to this sorry state. I accept that there has been some earthquake damage but it also seems that there may be issues with the adequacy of maintenance of the wharf over the years.

The Council was happy enough to spend \$68m on rebuilding the Naenae Pool (with a “Rolls Royce” solution) when we already had 5 other public swimming pools in the city). The Council spent a lot of money on the Walter Nash stadium and it is a wonderful facility and I am sure the Naenae Pool will be well used but what about something for the ratepayers who are not swimmers or users of facilities like the Walter Nash stadium. Like many other people I always enjoyed a stroll along Petone wharf and as a young boy spent many hours there fishing. I recall the scows bringing timber from the South Island across to the Odlins timber yard in Petone being tied up there as well as the occasional naval vessel. It seems a little odd that the wharf was affordable to build in 1883 (and rebuild in 1909) but we struggle to afford to adequately maintain it in 2024 with our modern equipment, materials, technologies and much larger population.

Do you want to go down in history as the Council which destroyed this 140 year old heritage icon, this part of the City’s history. Once it is gone it will be gone forever.

I suggest that Council spend money earmarked for demolition on repairs to enable the wharf to reopen. The Council could consider allocating a modest amount (say \$5m each election cycle ) for ongoing refurbishment of the wharf (incl rebuilding as required) Over time the wharf would be restored to a good standard and enjoyed by future generations of fishers, swimmers, painters, photographers, boaties and walkers.



**Physical Address**  
Fraser Park  
Harcourt Werry Drive  
Avalon  
Lower Hutt, NZ  
5011

**Contact Address**  
Jack Nair  
[REDACTED]  
Alicetown  
Lower Hutt, NZ  
5010  
[REDACTED]

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Feedback on the Draft Long Term Plan – Managing Assets

*re: the proposed demolition of what is known as the Taita Cricket club and the Hutt Marist clubrooms and toilet blocks.*

To whom it may concern:

GBH Boxing and the clubs we represent (Ronin Kickboxing, Bellevue Boxing Club, Wayne Westenra MMA, The Combat Lab, Wellington Free Ambulance) are formally objecting to the proposed demolition of the above-mentioned buildings.

GBH Boxing wishes to inform the council that we're 100% supportive of the submissions that will be made by Avalon Rugby, Lower Hutt Soccer, Phoenix Academy and Taita Cricket club. All affected organizations are totally mystified as to why the council are fixated on demolishing both buildings, given that:

- (A) they're not currently costing the council anything to maintain
- (B) all indications are that the buildings are structurally sound and asbestos-free
- (C) there's constant use by the community of both buildings

These buildings (and the groups using them) add huge benefits to the local community, as per below:

**Promoting Physical Health and Fitness:**

Regular physical activity is essential for maintaining your 'best self' – not just fitness, but things like joint health, preventing chronic diseases, reducing general illness etc.

We have classes that cater to all, no matter where they are on their fitness journey.

We do morning, evening, and weekend sessions, to fit in with people's lifestyles. The cost for adults to participate is minimal, and school-age class members are free. All coaches are experienced, qualified volunteers, and all equipment is provided.

**Fostering Social Connections and Providing Support Networks:**

As well as physical fitness, our gym brings together individuals from different backgrounds and age groups and encourages health and wellness in all. Participants forge meaningful connections, build friendships, and create support networks. The gym creates and enhances these social interactions, adding motivation and positive accountability for everyone. As an example, Wellington Free Ambulance uses the gym to train their staff in self-defense, at no cost.

**Enhancing Mental Well-being and Stress Relief:**

Exercise (particularly well-structured, group exercise) is a powerful antidote to stress, anxiety, and depression. Our classes provide benefits that help with the pressures of daily life for people of all ages and situations. We provide a safe and supportive environment to push physical limits, grow self-confidence and develop mental/emotional resilience.

Regarding the demolition proposal, Andrea Blackshaws' email (12-March) mentioned *'These buildings were previously used by the groups that are now housed in the Ricoh Sports Centre, and all buildings are at, or near, the end of their lives as assets.'*

If that's the case, why are the clubs (supposedly at the Ricoh Centre) still using these buildings? Our understanding is that the Ricoh Centre does not have the agreed space or facilities for these clubs to fully function or meet the needs of their sport or members.

We feel that rate-payers would be better served during the current LTP period by having these facilities kept in use (at low to zero Council cost) as opposed to a costly demolition project.

The Taita Cricket Clubrooms are utilized by multiple groups which are available to the community at little to no cost and everyone is welcome.

On average, this facility is used 50-55 hrs per week, with approximately 200-250 walking through the doors each week.

Does the Council have a plan to support all these local people who currently use these facilities and services that will be impacted by this proposal?

In summary:

We understand that it's a temporary lease, but given the current net positives vs. the possibility of future spending required by council, we respectfully urge you to reconsider the decision to demolish.

I also would like the opportunity to talk about my submission at the full council meeting.

Yours sincerely,

Jack Nair  
Head Coach, GBH Boxing



To Lower Hutt City Council

29/03/24

Re Old Taita Cricket Clubrooms

Hi, my name is Miles Dyne, representing Bellevue Boxing Club currently operating out of this premises. Bellevue is a long-established boxing club registered with the Wellington Hutt valley boxing association. For the last 48 years Bellevue has provided a positive environment and active pathway to legitimate boxing competition (amateur, professional, and corporate.)

This is currently being facilitated by myself, a level 2 qualified registered coach and three other active coaches (Tua Fale, Steve Wood, and Corey Enoka). Other assistant coaches also have a role.

We train three times a week and do not charge fees. We do this effectively due to the generosity of the council allowing us to use this space. This enables us to train a diverse range of youth and adults from the Lower Hurr area.

The gym is fit for purpose and well set up. Due to its location many individuals, who cannot afford fees or travel, are able to attend regularly.

As a club we have produced numerous national champions some of whom have returned to coach for free. Myself and the other 3 listed fall in this category.

However, most participants do not box competitively or at this level yet gain the benefits achieved by attempting to reach the standard of boxing competitively. These include fitness, ethics, positive mindset, and social interaction. As we draw our membership from a diverse group, I believe this represents a very worthwhile contribution to our local area.

I sincerely hope that we can extend the use of this premise and continue the good work being done. Several other similar groups also use this space to good effect.

Please consider allowing us to continue in this premise if it is at all feasible.

Regards,

Miles Dyne, Bellevue Boxing Club.

Bellevue Boxing Club  
Fraser Park  
Avalon  
LOWER HUTT

Dear

For over 30 years, Bellevue Boxing Club has been a beacon of hope for disadvantaged youths in our community. Providing free boxing training and support to thousands of young people and their families, it has tackled issues such as poverty, violence against women, knife crime and community cohesion. Situated in a suburb where many diasporas and lower, middle classes reside, Bellevue is more than just a club - it's a place of refuge and learning. However, this vital resource is under threat. The council wants to demolish the building where we hold our gym and we do not think we have sufficient reason to relocate. This move will have significant impacts on our community who rely on the club as a place of refuge and belonging. We cannot let this happen without putting up a fight. We encourage the local authorities to reconsider and allow us a place to teach and foster youth and growing adults, there is never too much for such places in our society and we believe the more places available to the public for our community to grow in their individual lives, the better it is for our city and for our people.

For the 20 plus years that I have volunteered at this gym, I have seen lives change, hearts soften and the boxing club become a place of refuge for many. It has helped individuals feel a deep sense of belonging and love. I urge you to take into consideration the cons of delaying and denying people who are lost in life with no place to feel safe and grow. I hope this letter finds its way into your beliefs of a better and safer community and that we are able to work together to provide our local people with a place to grow, both individually and as a group.

Thank you for your time and we look forward to your response.

Sincerely,

Tualau Fale  
Coach and Trainer

To whom it may concern

Our club, The Combat Lab, was created to provide a safe martial arts/self defence group for those who couldn't afford other clubs (some run at over \$60 per week). In some cases we have members who have suffered terrible domestic violence who are rebuilding their confidence and lives . They don't have the financial means to afford club fees and are anxious about training with people they do not know (the case with larger clubs open to the general public). We feel it imperative they have a safe place to train with a small trusted few who understand their circumstances. The Combat Lab provides this and wish to continue.

The nature of our approach means that many of our members attend due to specific fitness and mental health needs, as our club does not force anyone to attempt anything that they are uncomfortable or unable to participate in (unlike other martial arts clubs that have a prescribed growth pathway).

Our club encourages leadership from members, who are able to present training techniques they have learned to the rest of the club.

Our membership spans many walks of life, cultures and ages (from teens to retirees). We have recently provided training for the Silver Ferns.

Due to the sensitive nature of some of our members personal situations, membership is managed by our leadership team to ensure a safe and supportive environment.

Our expertise draws from many of the Hutts other martial arts groups including Krav Maga, Judo, Karate, Boxing, Hapkido, allow our members to choose the 'mode' that suits their personal needs and comfort levels.

The nature of our training means that we require a facility that can also cater for our training equipment (Boxing bags, Judo mats, safety equipment (headgear, bodypads....) while keeping costs low. The rooms at Fraser Park are perfect for our club and members.

We have been operating since 2021. We currently have roughly 30 members with 15-20 attending weekly. Over 2024, we will be looking to extend our session times to cater for more members and new focus areas, while maintaining the 'safe team' ethos.

Dr Jeff Simpson [REDACTED]  
Rob Morrison [REDACTED]

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Eric Tibbott  
General Manager: Operations  
Wellington Free Ambulance

22 March 2024

Dear Jack,

I am writing to express my gratitude to you, and the Hutt City Council, for the invaluable support and assistance you have provided to Wellington Free Ambulance staff in facilitating self-defence training sessions.

We are sincerely appreciative of the opportunity to utilise your facilities, the boxing gym at the Old Taita Cricket Clubrooms, for this purpose.

The recent self-defence training sessions conducted at the gym have been instrumental in equipping our staff with the necessary skills and techniques to protect themselves in potentially dangerous situations.

With the ongoing prospect of extending these sessions to over 200 additional staff members, having access to a local, well-equipped training location cannot be overstated.

Incidents of violence against ambulance staff are becoming more prevalent and providing our people with the tools and knowledge to effectively respond to such situations is paramount.

We look forward to our continuing collaboration and exploring additional opportunities to further strengthen our partnership.

Once again, thank you for your generosity, hospitality, and commitment to promoting safety and well-being of the Wellington Free Ambulance frontline staff.

Yours Sincerely



Eric Tibbott  
General manager: Operations

To whom it may concern

I'm writing this letter in support of GBH Boxing and Ronin Muay Thai kickboxing clubs situated at Fraser Park in the old Taita Cricket Club clubrooms. I also teach mixed martial arts on Saturday mornings at this club.

I understand this facility has been identified for demolition, which is a shame given the value it gives to the community supporting health, fitness, wellbeing, and mental health in an affordable way. I've seen first hand the transformation that GBH and the Ronin club provides to the multiple members that attend these clubs, whether it's through weight loss, mental health, or camaraderie, these clubs offer it all and more.

On a personal note, my son who has struggled with depression and anxiety has finally found a place that provides a safe space to exercise, learn new skills, and connect with people he would not normally associate with, without fear of judgment. I'm sure you would find a lot of people with their own struggles who attend GBH or Ronin and find solace in what these clubs provide.

In terms of my own class, I have a gentleman who's aged in his mid-50s, training in a sport that most 20 year olds would find difficult to train in, this is because all classes are conducted in a safe way. In fact, the same gentleman trains in all three disciplines, MMA, Boxing and Muay Thai.

I would encourage you as city council members to come down to the club on a Monday or Wednesday evening and watch or better still participate in the classes, to get a better feel of what this club is about and what it provides the community.

For your consideration

Wayne Westrupp

**From:** [Charlotte Goguel](#)  
**To:** [haveyoursay](#)  
**Cc:** [Brady Dyer](#)  
**Subject:** [EXTERNAL] Submission: 10 year plan  
**Date:** Monday, 29 April 2024 7:16:05 pm

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Tēnā koe,

Thank you for the opportunity to comment.

I have had a look through your 10 year plan, and, while I understand there are many priorities you need to balance, I have real concern at how your survey is geared towards your preferred options and does not give clear ability for a submitter to make a choice that suits them.

ie.

Water meters

I do not agree with the install of water meters under the current plan as there is no understanding of how it will affect costs of water use, when and how much (which looking at Auckland examples it inevitably will) and this will likely increase the cost of water use for all families including low water users significantly over time. Neither of the options given offer the refusal to install water meters at this stage, nor any detail as to how it would work. Also, this only talks to residential users, it would be good to understand how commercial and industrial users are and will be charged.

Finally, before any investment goes into ideas such as water meters, the council should first fix the infrastructure.

Green waste

I don't disagree with having a green waste bin BUT there need to be benefits to those who resultantly do not have much landfill waste. Green waste collection and landfill (red bin) should be weekly but on a scan bin barcode pay as you go basis. Many people like us are diligent recyclers, and compost our food scraps so would only rarely need the green and red bins - incentivise good behaviour and you will reduce your landfill problem!

Petone Wharf

I do not agree with the removal of Petone Wharf as this is a key amenity asset for an ever growing community. The wharf provides a huge amenity to the area and before its closure was always well used. There are costs in removal; why not look at the most affordable way to restore it safely rather than the inevitable over-engineering that often occurs to ensure compliance with ever increasing structural standards. Check the tolerances that engineers have allowed for and the resultant increase in material requirements and optimisation if possible. Look at inviting the community to or local companies to fund elements such as painting or seating or new top surfacing. Give real options! Again the restoration has been taken off as an option after having been promised for reconsideration in the plan - and that method of surveying the public is very disingenuous.

Developments: Subdivision Roothing improvements / Development contributions

Developers should pay the full cost of ALL elements related to the development. By

adding to the current infrastructure, they are burdening the system and need to accordingly pay their part towards the increase in capacity - be it roads, sewerage, recreation, schooling, other infrastructure etc. I imagine the council's priority is new construction, more and more so that there will be more ratepayers going forward, but the system needs to be able to cater for it and those who create that increase need to contribute accordingly. As an important aside: real consideration needs to be given to how new developments fit within communities and not only working to the current blanket allowance for developments to occur anywhere, at significant scale with no real world assessments and mitigation of the impacts they cause. If we want this city to develop into a wonderful place, we need to implement design guides that follow a clear urban design vision.

### Roading developments

Honestly, with all the other things going on, roading investments are not going to make the Hutt Valley a better place to live. I would prefer the money be spent on things that improve peoples' health and wellbeing, such as the shared pathways, recreation and reserves, libraries, pools - those sorts of things. that uplift us all.

### Amenities

So yes to Petone Library, Naenae Pool, Shared Coastal Pathway, I'm not so worried about Grandstand seating on recreation grounds but am keen to see all recreation grounds being well maintained and increased where possible.

### Water Infrastructure Investment

Just do it properly. It costs what it costs, and if you fix the pipes properly, we may find the water shortages are more manageable without the need to meter everyone.

### Rates remission

I don't have an issue with this in principle but there needs to be a clear understanding of how this would be implemented so that people in real need benefit rather than those that know how to play the system.

### Parking Fees

I am not keen on integrating parking fees in Petone but happy for strict enforcement on parking times in commercial areas. Only minor gains are to be had for parking fees in Petone and it is a major nuisance having to deal with parking meters. Perhaps if you do do this, but directly use those funds to save the wharf, then Petone residents might not be so irritated? The proposed implementation of metered parking also risks pushing retail parking further into residential areas (some of which are already highly congested) and discouraging "high street" shopping as users prefer the easier option of big box retail free parking (take Queensgate and the impact on High Street and Queens Drive as an example). Furthermore, as metered parking acts as a discouragement to using car parks, the revenues gained may not be as much as forecast. Think also, if you are encouraging a move away from car use and parking generally for the environment reasons, I would like to see more well placed cycle parks.

Other than that, all the best, and thanks for reading my feedback outside of your rigid survey form.

Ngā mihi nui,

Charlotte



**From:** [Reiner Goguel](#)  
**To:** [haveyoursay](#)  
**Subject:** [EXTERNAL] Hutt 10 year plan  
**Date:** Friday, 3 May 2024 4:43:38 pm

---

Tena koe,

Thank you for the opportunity to review aspects of your 10 year plan.

I realize that the proposals require much thought and should most of all define the primary target.

We have built up debts through neglect of water management that increased necessary investment to a degree that inadequate action has become irresponsible.

My daughter Charlotte, architect, has made several comments in her appraisal of the Hutt 10 year plan that I also support. I only wish to add that the Petone wharf only lost some importance because of the often vehicle-overcrowded Esplanade that can't tolerate pedestrians crossing it with greater frequency. A pedestrian bridge or underpass should also be installed.

Wishing you success with your efforts.

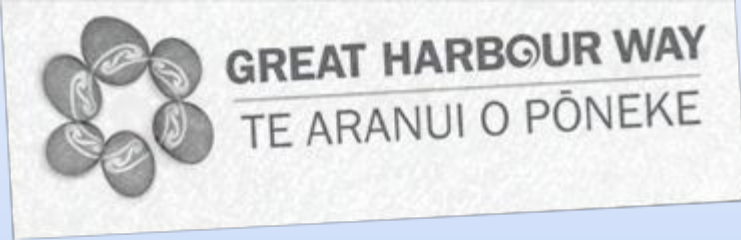
Nga mihi nui  
Reiner Goguel

# Submission by the Great Harbour Way trustees on the Hutt City Council's 2024-34 Long-term Plan



The vision for the Great Harbour Way:  
To create a walking-cycling trail that maximises the benefits of Wellington's greatest asset – our harbour, Te Whanganui-a-Tara

It is unique. Few, if any, opportunities exist elsewhere in the world to walk or cycle the entire coastline of a major city harbour, continually touching the water's edge



- **Recognition of the cost challenges the Council faces versus the opportunities to make the Hutt region an even more fantastic place to live and visit by investing in the Great Harbour Way (GHW).**

## Foreword

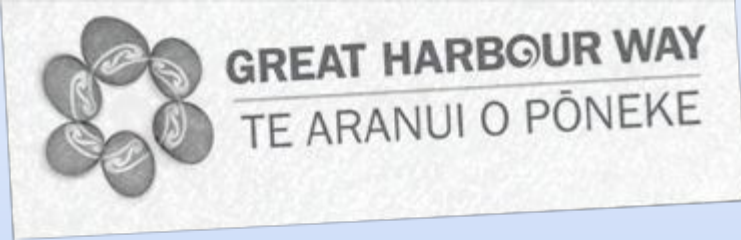


- **Great to see the recent investments in improving resiliency and walking & cycling facilities along the routes along the Eastern Bays and Petone-Ngauranga through the Tupua Horo Nuku and Te Ara Tapua projects. These improvements are a huge boost in realising the vision of the GHW.**
- **However, the long term plan needs to include further improvements to realise that vision.**
- **We believe that these improvements align with the focus of the long term plan by**
  - **Providing future-fit active transport infrastructure that allows people of all ages and abilities to walk and cycle the Hutt City part of the GHW.**
  - **Enabling a liveable and vibrant city, through a GHW that encourages outdoor activities for local residents as well as for local and international tourists.**
  - **Supporting and enhancing the environment, by making the GHW a key to enjoying and treasuring our harbour.**
  - **Ensuring wellbeing of all people by encouraging active use of the GHW.**

## Key Aspects of our Submission



- **The Tupua Horo Nuku and Te Ara Tapua projects will result in a significant growth of the number of people on bikes (and an increase in e-bike riders), scooters and on foot. This will include families with little children. Comfort / safety of people of all ages and abilities is paramount to manage this increased use of the GHW.**
- **The key focus of our submissions is on encouraging investment in a continuous shared path between Honiana Te Puni Reserve and Ngamatau Point Howard; ensuring the level of service and quality of design that are being implemented by the Tupua Horo Nuku and Te Ara Tapua projects.**
- **We also encourage that the Council retain the Petone Wharf as a key iconic asset and important part of the GHW.**



- **The Hutt City has a substantial part of our beautiful harbour coastline under its control and has therefore an important role to play in achieving the vision and outcomes of the GHW.**

- **The GHW encourages people to walk, bike or use a scooter to enjoy the coastline. It is therefore a significant recreational asset and contributor to people's wellbeing and health, which helps to reduce the demands on Hutt's medical services and its hospital.**

- **It is important for our mana whenua to facilitate their connection with Te Whanganui-a-Tara/Wellington Harbour**

- **For many people the GHW provides many spots for fishing and for people to catch and collect their kai moana. Places like the Petone Wharf play in an important role in this.**

- **The Great Harbour of Tara – is one of the world's most beautiful harbours and the GHW is a significant drawcard for national and international tourists. It is likely to be recognised as one of New Zealand's most beautiful and accessible great walk and cycle routes.**

- **This makes the GHW a significant potential source of income for Hutt City that can offset the investment that we are asking the Council to make in the GHW. One only has to look at the success of the Lake Dunstan cycle trail and the New Plymouth harbour walkway to recognise this.**

## **Why this is Important**



## **Our Submissions - The Long Term Financial Plan**



- **We believe that this is a well considered plan and welcome the proposed level of investment in roads, bridges, and footpaths.**
- **We would like to see this investment include further improvements that are needed to realise the vision and outcomes of the GHW.**
- **It must be recognised that this also helps to realise the benefits of the Tupua Horo Nuku and Te Ara Tapua projects by having the same levels of service across a connected route from Ngauranga to Eastbourne as part of the GHW.**

## **Our Submissions**

### **- Petone Assets**



- **We urge that the Council and the Long Term Plan recognise the Petone wharf as an iconic and historic asset as part of the Great Harbour Way that has important appeal and purpose for locals and national & international tourists.**
- **The wharf contributes to the investment in Te Ara Tupua as it is a valued destination as part of that route.**
- **Preference is to retain the wharf for pedestrian / recreational access. The wharf has an important purpose for locals who want to fish for recreation or for their kai moana.**
- **The Council should further review options as we believe that previous remedial work and some additional work can make the wharf safe for the above purpose.**
- **There is also a need for additional investment to ensure either a wider shared path along the Petone foreshore, or ideally separation between walkers and people on bikes and scooters.**
- **The proposed Cross Valley Connections will help to reduce traffic along the Petone Parade and may provide an option for a seaside bi-directional bike lane.**

## **Our Submissions - Transport Infrastructure**

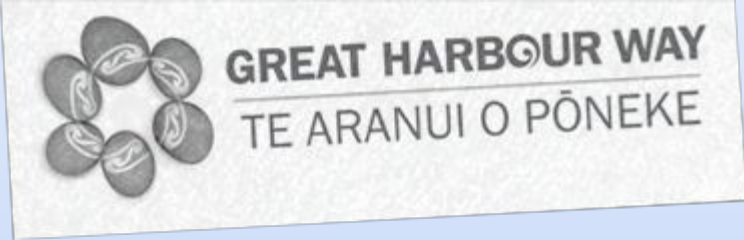


- **We welcome the ongoing investment in the Tupua Horo Nuku project.**
- **We would like to see this extended to include building a wider shared path along the pipelines between Ngamatau Point Howard and the Seaview Marina boat ramp, as well as creating a safe shared path between the Seaview Marina and the existing shared path north of the Burnsco Seaview marine supplies store along Port Road.**
- **The current shared path across the Waione Bridge is far too narrow to allow people on bikes & scooters, walkers, and locals fishing to comfortably and safely share this path. We urge the Council to invest in addressing this significant issue, starting with investigating options such as a separate walking & cycling bridge. A tactical and more economic alternative would be to add some clip on fishing pods and reclaim the footpath for pedestrians and cyclists.**



**Thank you for continuing your investment in the Great Harbour Way / Te Aranui o Pōneke!**





# **Appendix: Supporting Information on the Great Harbour Way**

# What the Great Harbour Way offers

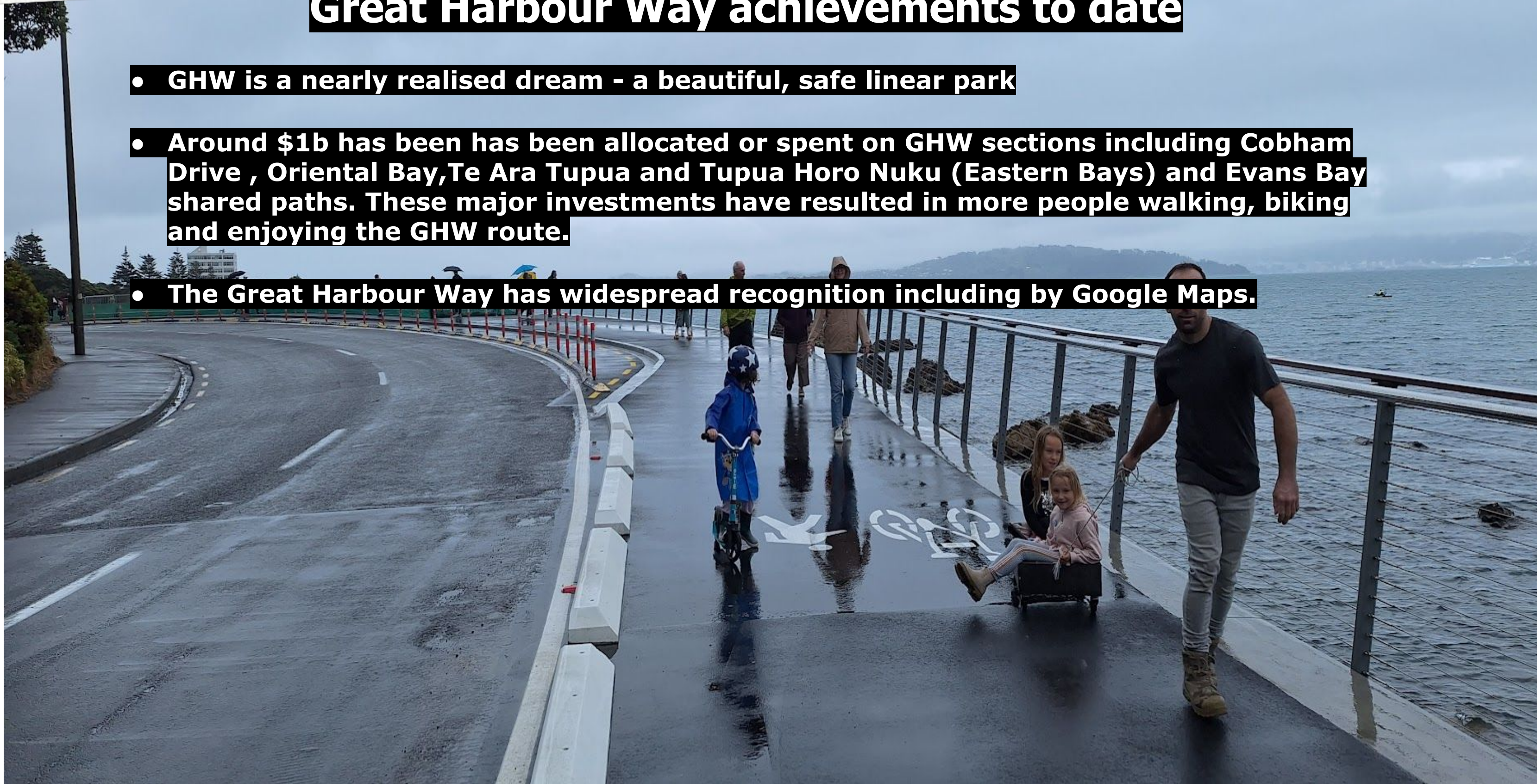
It is exciting. It is unique. It encompasses:

- Magnificent scenery, wild shorelines
- a huge variety of bird & animal life, from shorebirds to seal colonies
- Places to explore, visit cafes, stay, and play.
- A 70 kilometre route around one of the most beautiful harbours in the world.
- Connections to other routes like the Remutaka Trail.



## Great Harbour Way achievements to date

- GHW is a nearly realised dream - a beautiful, safe linear park
- Around \$1b has been allocated or spent on GHW sections including Cobham Drive , Oriental Bay, Te Ara Tupua and Tupua Horo Nuku (Eastern Bays) and Evans Bay shared paths. These major investments have resulted in more people walking, biking and enjoying the GHW route.
- The Great Harbour Way has widespread recognition including by Google Maps.



# The Opportunity

To be one of the best and most recognised trails, nationally and internationally



Lake Dunstan Trail



New Plymouth Coastal Trail



Otago Harbour Trail



Donau Trail



San Francisco Bay Trail



The Great Harbour Way Trail



## **The Opportunity for the Hutt Council**

- **To promote the GHW as Aotearoa’s premier urban walking-cycling trail.**
- **To gain the economic benefits that come from recognised walking-cycling trails.**
- **To brand the HCC as a visionary leader in promoting the health of all its residents through active recreation and transport.**
  - **Diversify the region’s tourism beyond events and museums.**
- **Be seen as a leader in taking actions to mitigate climate change by protecting and enhancing our shoreline and encouraging people to enjoy the Great Harbour Way on foot or bike; leaving the car at home.**
- **Creating an exciting network of walk & cycle routes; connecting the Great Harbour Way to the Remutaka Trail, the Hutt River Trail, Te Ara Tupua route, and the many tracks on the western and eastern hills around the Hutt.**

**Submission on Hutt City Council Long Term Plan 2024 - 2034  
from Pam Hanna**

This is an individual submission

I live in Petone

**Q.6:** Option 1 as I think Option 2 is unaffordable for ratepayers.

**Q.9:** None of the options and I disagree with all the options given for each of the assets.

Comments I would like to add:

**Petone Library building**

What does a resilient, multi-purpose building mean? And what more services? And how can more of a 'town centre' feel be created in the small space that the Library building is on, especially as there is a right of way 'thoroughfare' around part of its southern side?

Petone 2040 was developed as a spatial plan in 2017 and it has no mention of the Library as the town centre or 'heart' of Petone.

In the Character and Identity section of P2040 the Library site is in what is called the Petone Rec frame. On page 51 in Key Findings it is stated: "Although the Library and the Community House act as de facto community centres, Petone does not have a single recognised assembly place or an obvious home for its cultural activities."

Other related references include:

- Page 80 – Spatial planning principles

*Reinforce Jackson Street as Heart of Petone*

- Page 116

*Jackson Street could be defined as the "heart" of Petone underpinning the identity of the suburb.*

- P123 Petone Rec Frame

*The south end of the Rec contains "programmed" spaces with a more complex character. These adjoin a loose collection of public or semi-public buildings within the South frame. This whole area should retain a community focus*

*- Community facilities are retained and become more accessible*

The 2023 community workshops referred to were by invite only and attended by a small number of people. Nearly all of Petone didn't know they were happening.

Rearranging funding to create \$10M to potentially deliver something in a partnership is not a good idea. Hutt City Council does not have a good history of ratepayer friendly commercial partnerships. And we have been there before with the Petone Library with what was euphemistically described as a concept, when a resource consent had already been lodged for a three storey building that included 54 apartments on the top two storeys. The proposed building reached nearly to the verandas of the businesses across from the current Library and there was no guarantee of continued public ownership of the Library, or anything.

People at the time – in a major amount of community consultation - said they really appreciated the Library and they wanted a Library rather than an all singing and dancing version of a Library. They were also not at all impressed with what they called a monster of a design in a big imposing box

My understanding is that the \$10M Option 1 for the Library is about trying to find a commercial partner rather than delivering an improved Library facility. The better option for \$10M would be to keep the current Library space, pull down problematic parts of the building and reconstruct better staff and heritage collections spaces plus a larger meeting area than is currently available, as Petone doesn't have a community hall.

### **Petone Wharf**

When Hutt City Council consulted for its 2017-2018 Annual Plan in light of the realisation that all four wharves needed attention, the most used wharf was Petone by far, and by far on each of a daily basis, a 2-3 times a week basis, and a once a week basis.

Only 2% of the respondents wanted it removed, compared to 48% wanting to see Rona Bay removed.

Where did “demolishing the wharf addresses safety concerns of a Council structure on community, environmental and marine life” come from? Demolition would negatively affect community, environmental and marine life.

The community want to get out and walk on the wharf. Around 6000 people have signed a petition to say that. There was also a petition in 2018 to keep the whole wharf. Please get on with doing just that.

### Paid Parking in Petone

The proposal is 7 days a week at \$3 an hour along the Jackson Street heritage precinct and the Library car park. A Library needs free carparks to grow children as borrowers of books as they need time to decide which books plus have a play with whatever is available, and then the often big stash needs to be transported home. The current short term carparks are needed for the pick up of requested books plus for physio and podiatry clients. Then there is the Awanui Lab that people from around the Hutt come to – because they can get a park if they come early.

There is also a statement that “The additional funding collected from Petone parking could be used to make improvements and upgrades to transport infrastructure on Jackson Street.” This suggests that it is not needed to help fund projects outlined in this Long Term Plan. So why do it when it will affect all of Petone by pushing parking even more down the streets off Jackson Street.

It could also affect the historic Jackson Street precinct in terms of commercial confidence and, therefore, occupancy and that could lead to negative impacts on this important part of history.

I do not wish to speak to my submission.



**From:** Nicole Hawke <[REDACTED]>  
**Sent:** Tuesday, December 5, 2023 1:49 PM  
**To:** ContactHCC <[contact@huttcity.govt.nz](mailto:contact@huttcity.govt.nz)>  
**Subject:** [EXTERNAL] Proposed rates increase

Kia Ora

This email is addressed to all councilors and all staff involved in making the rates increase decisions.

My name is Nicole Hawke. I am a [REDACTED] resident. My phone number is [REDACTED]. I am happy to meet with staff or speak with any relevant people.

Today I was greatly alarmed to read in the newspaper about a proposed 16.5% rates increase. This is coming off the back of a 9% increase which ended up being well above that by the time new rv etc were added.

How can you morally justify such a huge increase? The 9% increase hugely affected our house hold and we are on technically a large salary. \$100 000 for our household. We are lucky for this. I know of many households that are going without food or heating to pay for it.

Increasing rates 16.5% will cause home owners to sell. It will force people into making tough choices between paying a council rate or eating. It will force people to not heat their houses in winter as they cannot afford it. The health care system and emergency housing will suffer as a result. This is not an over dramatization. This is what will happen. It happened slightly with 9%, it will happen with this.

I understand that you need more money. Perhaps you don't pay the CFO such an unjustifiable salary. Take pay cuts, fix pot holes properly the 1st time instead of 5x, get rid of the build and play trailers and other nice to haves, stop funding seedling yoga and other activities like this. It is a cost of living crisis. Belts need to be tightened and things stripped back to what is needed. Not the nice to haves.

Do you really want to be responsible for directly affecting your residents mental health? Physical health? It is morally reprehensible what you are suggesting.

People are squeezed from all directions. Bank rates, food, insurance, power, internet, all have gone up. How can you put up rated 16.5%?

My confidence and expertise is with numbers. I am [REDACTED]. I am happy to look over accounts and suggest ideas to stop such an increase occurring.

Please look at other options. 16.5% will push people over the edge.

Kind regards

Nicole

**From:** Ian Hebbend <[REDACTED]>  
**Sent:** Tuesday, April 9, 2024 8:09 AM  
**To:** haveyoursay <haveyoursay@huttcity.govt.nz>  
**Subject:** [EXTERNAL] Re: 10 Year plan

And finish Naenae Pool!

----- Original Message -----

From "Ian Hebbend" <[REDACTED]>  
To "[haveyoursay@huttcity.govt.nz](mailto:haveyoursay@huttcity.govt.nz)" <[haveyoursay@huttcity.govt.nz](mailto:haveyoursay@huttcity.govt.nz)>  
Date 9/04/2024 8:01:22 AM  
Subject 10 Year plan

Our feedback...

Searched the Council website, can't find the 10 year plan!

Our suggestions for the next 5 years!

Stop the cycleways and other "enhancements" for a handful of people.

Complete the stopbank work, which is important for the safety of the city

Fix the water leaks and pipes.

Replace Melling Bridge

Once that is done you can go back to the fancy stuff!

Ian and Sharon



HERITAGE NEW ZEALAND  
POUHERE TAONGA

**Tairangahia a tua whakarere;  
Tatakihia nga reanga o amuri ake nei  
Honouring the past; Inspiring the future**

2 May 2024

File ref: 33002-082

2024/2034 Long Term Plan Submissions

Hutt City Council  
Private Bag 31912  
Lower Hutt 5040

Email: [haveyoursay@huttcity.govt.nz](mailto:haveyoursay@huttcity.govt.nz)

Dear Sir or Madam,

**SUBMISSION FROM HERITAGE NEW ZEALAND POUHERE TAONGA ON HUTT CITY LONG TERM PLAN  
2024-2034 – WITH REGARDS TO DECISIONS ON PETONE WHARF**

1. Heritage New Zealand Pouhere Taonga is an autonomous Crown Entity with statutory responsibility under the Heritage New Zealand Pouhere Taonga Act 2014 for the identification, protection, preservation and conservation of New Zealand's historical and cultural heritage. Heritage New Zealand is New Zealand's lead heritage agency.
2. Thank you for the opportunity to make a submission on the Hutt City Council Long Term Plan for 2024-2034.
3. Heritage New Zealand understands the measures that the Council is undertaking regarding funding priorities and the preferences regarding the Petone wharf.
4. The Petone wharf has a significant history dating back to 1909 and is an iconic feature of the foreshore that was much admired and well used for recreational purposes before its closure due to earthquake damage in 2016 and 2021. The Petone wharf has outstanding heritage values with heritage listings in both Hutt City District Plan and the Wellington Regional Environment Plan which are based on expert evaluations undertaken for the two Councils.
5. Heritage New Zealand is disappointed that the Council's preferred option is to demolish the Petone wharf. Both the options for Petone wharf in the Long Term Plan 2024-2034 seek to demolish the wharf. Heritage New Zealand is disappointed that *no allowance has been made for the effects of deferment and the ongoing deterioration of the Wharf* which suggests that the perceived need to demolish the wharf would be due to 'demolition by neglect', with maintenance and repair of the wharf being deferred by the Council.

6. Heritage New Zealand is not supportive of either of the options for Petone wharf in the Long Term Plan 2024-2034. Heritage New Zealand would prefer if the Council invested in the repair and maintenance of the Petone wharf rather than constructing a new viewing platform on The Esplanade. Option two for Petone wharf with the total investment of \$10.2 million which would be invested in the installation of a memorial display to acknowledge the wharf's history and make improvements to the Esplanade including a new viewing platform, could be better utilised in restoration and maintaining the wharf.
7. As previously mentioned, Petone wharf has high heritage values. In addition, the wharf has been important in maintaining a sense of place, sense of identity and belonging in the public realm. Demolition of the Petone wharf would be a profound loss for the unique heritage character of Petone. By identifying and preserving historic heritage, people have an opportunity to connect, understand and appreciate the history of the city. Heritage New Zealand recommends the Council to reconsider their decisions by investing in the maintenance and redevelopment of the Petone wharf.
8. We understand that there are community members keen to save the wharf, who have put forward a proposal to undertake the necessary repairs to the wharf using the 'Pile Medic' technology. HNZPT urges serious consideration of this option, at the least to undertake a peer review of the proposal in terms of feasibility, costs, and effects on heritage values.
9. Heritage New Zealand Pouhere Taonga is available to speak to our submission at a council hearing on the 2024-2034 Long Term Plan. If others make a similar submission, HNZPT will consider presenting a joint case with them at a hearing.
10. We are available to answer any queries that Council may have regarding the submission and continue to be able to offer advice to Council and other owners of heritage buildings regarding heritage conservation, and advice concerning archaeological authority requirements under the Heritage New Zealand Pouhere Taonga Act 2014.

Yours sincerely

Dean Raymond



Area Manager / *Kaiwhakahaere ā-Takiwā*  
Central Region / *Te Takiwā o Te Pūtahi a Māui*  
Heritage New Zealand Pouhere Taonga

Address for service

Heritage New Zealand Pouhere Taonga  
Central Region *Te Takiwā o Te Pūtahi a Māui*  
PO Box 2629  
Wellington 6140  
Ph: [REDACTED]  
Contact person: Dean Raymond, Area Manager  
Email: [REDACTED]

**From:** [Historical Society of Eastbourne](#)  
**To:** [haveyoursay](#)  
**Cc:** [Dennis Davidson](#)  
**Subject:** [EXTERNAL] Submission on Petone Wharf demolition  
**Date:** Monday, 22 April 2024 9:52:35 am

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Historical Society of Eastbourne, 38 Rimu Street Eastbourne. 22 April 2024

District Plan Consultation  
Hutt City Council  
LOWER HUTT

**Proposal to demolish Petone wharf  
pages 24-25 Ten Year Plan Consultation document**

Greetings

This letter is a substitute for your online submission form on the Ten Year Plan. This is because the options offered in the Plan feedback are fully focused on the wharf demolition and do not offer any opportunity to state the case for preservation of the structure.

This society

- Opposes both options offered in the Ten Year Plan
- Believes that the case for preservation of Petone Wharf needs further consideration

We believe that there is a strong case for retaining the wharf, based on three elements: preserving the community's heritage, enhancing its recreational use in the present, and providing future options for civil defence and Wellington Harbour connections. There are also major concerns about the environmental risks of demolishing it, including the effect of that on the underlying aquifer.

As an Historical Society, our concern is primarily about the wharf as heritage and its place in the wider New Zealand context:

- It is the third longest marine wharf in New Zealand.
- It has a history of multiple uses, including passenger and commercial transport.
- It holds a key place in the development of Petone and the Hutt Valley as an industrial centre.
- It enhances the historic nature of Petone and the town's development as a low-income residential area with the characteristic architecture. Too much of this has already been lost.
- It complements and extends the tourism promotion of Petone, with its shops, cafes and historic displays, and provides a focal point for visitors walking along the Esplanade. Restored, it adds to this theme of Petone as the heritage centre of the Hutt.
- With the Great Harbour (Cycle) Way now very close to completion, it offers a different perspective on the valley for those increased visitors. Without Petone Wharf, Petone waterfront would be just another beach.

We are not advocating for preservation of the fabric where this is beyond repair. But

new technologies offer new ways of restoring marine structures while keeping their essential character intact. While being an Historical Society, we are also vitally concerned for the present recreational aspect of the wharf (which is sorely missed), for its potential as a harbour transport hub bypassing the Hutt Road, and what could be its essential role as a lifeline between Wellington and the Hutt Valley in the case of an earthquake which destroyed the Hutt Road. There is also the huge risk that demolition could result in saltwater contamination of the Hutt aquifer, which would be an environmental catastrophe.

We ask the Council to revisit the decision to demolish and to explore new technologies for preservation and protection of this iconic structure.

Sincerely  
Dennis Davidson  
*President, Historical Society of Eastbourne, 38 Rimu Street Eastbourne.*

**From:** [John Hosegood](#)  
**To:** [haveyoursay](#)  
**Subject:** [EXTERNAL] Feedback on HCC Draft 10 Year Plan 2024-2034  
**Date:** Friday, 3 May 2024 11:03:39 am

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Dear Councillors,

I have the following feedback which I ask you to consider on the HCC 2024-2034 10 Year Plan Consultation Document.

1. The rates increase proposed is 16.9% in 2025, then lower in subsequent years but a long way above the forecast rate of inflation. **This is too high and rates increases need to be lower.** The proposed increases would contribute to New Zealand's inflation problem whereas council should be working with central government to solve this problem.
2. The Draft Plan highlights issues faced by the Hutt City community that must be resolved. However, Councillors and ratepayers need a good financial summary of capital requirements versus ability to fund so they can evaluate priorities in context. I did not see a clear financial summary, only the section where debt is quantified and rates are used as the balancing item (page 39 etc). **A clear financial picture needs to be provided so ratepayers can give informed feedback and councillors can make good decisions.** Otherwise the resulting decisions are likely to be piecemeal.
3. The way the plan has been presented detracts from the serious issues it is trying to address. I believe it needed a clearer and much more business-like approach to enable good balanced feedback. **The consultation document needed to be a clear portrayal of vision, facts and recommendations so feedback could be gathered and good decisions could be made.** I ask that information is re-presented to Councillors so they can grade expenditure in proper context.
4. I would have liked to see a clear **Vision** in the draft plan, preferably that **essential activities are done well and non-essentials are discontinued or reduced** as we can not afford them all. I did not see this.
5. Based on what I have seen I ask that:
  - A clear vision is developed so councillors can grade expenditure in that context and take the best decisions to move HCC forwards locally, nationally and internationally.
  - Essentials such as roads, water services and rubbish collection are prioritised
  - The emphasis on highly desirable but not essential activities (eg libraries, pools and gardens) should be carefully considered in relation to the vision with an emphasis on doing a number of things well rather than many things to a low or mediocre standard.
  - Less desirable and items inconsistent with the vision should be discontinued or changed, such as:
    - o The excessive increase proposed in rates which will drive people away from Hutt City (page 39).
    - o The immediate high increase in Development Contributions, which should be reduced or spread over a longer timeframe as it will drive developers away

(page 41).

- Fees and charges (page 42) which should be limited to the rate of inflation.
  - Food waste bin initiative (page 18).
  - Heritage items such as Petone Wharf which should only be approved if supported by full lifecycle economics, and only if the result is excellent rather than mediocre.
- Activities that are the responsibility of central government must be undertaken by them, such as social housing and the benefits of rates remission (page 20).

Your sincerely,

*John Hosegood*

**John Hosegood**



**From:** David Hull <[REDACTED]>  
**Sent:** Tuesday, September 5, 2023 8:06 AM  
**To:** haveyoursay <haveyoursay@huttcity.govt.nz>  
**Subject:** [EXTERNAL] KEEP PETONE WHARF

Please keep the Petone Wharf. For the following reasons, I think it would be a short-sighted mistake to fail to do so.

Petone is the historic portal to the Hutt Valley. It is one of New Zealand oldest settlements.

Petone Beach is - with Lambton Harbour, Mount Victoria, the Miramar Peninsula, the Heads, the Eastern Bays, and Matiu, Mokopuna and Makaro Islands - a main feature of Te Whanganui-a-Tara, the superb harbour.

And Petone wharf, the Provincial Centennial Memorial and the Esplanade are long-established landmarks.

In the 21st Century, Wellington is internationally recognized as a small city of a specially attractive character, well-described by the phrase "the coolest little capital in the world." This is immediately apparent to international travellers, who so often comment on it.

Although downtown Wellington may be a central focal point, the whole harbour and its seafrontages are an important part of the overall appeal of its setting.

Petone itself today has a distinctive complementary ambience, which is quickly apparent whether approached from the water or from the Valley interior. And we know it is the place where the first European settlers landed.

The future potential for the Wharf is obvious - for example, amenities that reflect the ethos of New Zealand's marine facilities and show them off to best advantage in harbour activities such as sightseeing excursions and/or water ferry services, water sports, kiosks, etc.

I think it is an error to hesitate over cost. In the 1950s, as I remember it, the "30,000 Club" foresaw the potential of the beachfront and sought to promote its development. Public enthusiasm in those days seemed muted, but I think time has shown that the club was on the right path. Over in Wellington, it now seems clear that in opting for trolley buses that council failed to anticipate the future of tramcars as a modern attraction, now so common in many European cities. I also understand that they misjudged the costs: that within a fairly short time, Wellington had to install hardened bases on the bus stops to cope with the impact of repetitive starting and stopping.

Since the 1960s, and especially in recent decades, our younger generations have demonstrated creative talent, foresight, positive thinking and optimism about future development.

Things have already come a long way.

Surely the right thing now is to keep the wharf, and confidently leave it to them to continue to preserve and embellish it - not go backwards.

David Hull  
Devizes  
England

## Submission on the Hutt City LTP

This submission is made on behalf of Hutt City Grey Power (HCGP). HCGP is a purely voluntary, not for profit organisation representing older people. We are not aligned or associated with any political party, or movement.

Contact: Pete Matcham (President)

email: [REDACTED]

Tel: [REDACTED]

We would like to speak in support of our submission.

### Summary

We understand and support the overall intent of the LTP, recognising that much of the current infrastructure failures can be traced to the demands made in previous years to prioritise low rates over prudent investment, amounting to inter-generational theft. We believe that we now have an opportunity, and a duty to our mokopuna to rectify this.

Since the availability of water is essential to all life, the safe disposal of sewage essential to health, and the management of storm events critical to public safety, we consider that priority must be given to three waters infrastructure. We acknowledge the efforts of HCC in leading the replacement of worn out pipes, but note with alarm that even the highest investment option presented in the consultation document only prevents things from getting worse. We agree that greater system buffering is required in the supply chain for potable water given the predicted increase in variability of rainfall, but also note that the current per capita use is unsustainable. We strongly support the introduction of demand management measures to address this.

### Detailed comments

The following comments follow the order in which they appear in the HCC consultation document, and as such have no relationship to their importance.

#### Water Services

We consider that bringing the city's three waters infrastructure up to an acceptable standard is the council's top priority. We acknowledge and applaud the efforts made to date. Since many of our members only income is National Superannuation, we are also acutely aware of the impact on them of increased rates. However we do not wish the burden of cost to be borne by our mokopuna through unnecessary delay. Many of our members have lived through times where every penny counts, and so are acutely aware of the old adages that the present is always the cheapest time to do anything, and that the first thing to do if you are in a hole is to stop making it bigger.

Consequently we fully support the introduction of water meters on both social and economic grounds. Volumetric charging is clearly the most efficient method of distributing infrastructure costs equitably, as well as providing sufficient granularity of network monitoring to quickly identify and address leaks. We have seen no data on the proportion of leaks between the public network and private connections, but note that metering at the interface also enables costs to lie where they fall, and gives the Council through Wellington Water the ability to enforce speedy repair in the private parts of the network.

We are mindful however of the need for social equity to also be considered when charging is introduced, and note that this will be the subject of future consultation.

On balance we believe that option 2 in the Consultation booklet should be the basis for future policy. We believe that the social cost including any regressive charging should be addressed separately and should not delay the installation of water meters.

### Waste collection services

We support the introduction of green waste and organic waste collection, but consider the standard user charge approach regressive. The idea of charging people extra to achieve a socially desirable outcome is also counter-productive. The cost of the service needs to be structured in a way that provides a financial incentive for people to use it. We are also concerned that little detail is given of the 'processing solution' either in terms of cost recovery from the sale of any end product or how this will reduce rather than delay the contribution of food waste emissions. Unless these issues can be addressed we cannot support option 1.

### Rates relief for low income households

We applaud HCC for recognising the financial stress many older people face with increasing rates and a fixed income. However we cannot support this initiative since we consider it unethical. It fails to assist those most in need: those on fixed or low income who rent. Further, it imposes an additional cost on this cohort since we have no doubt that landlords will pass on any rates increase directly to tenants. We further note that home owners on low income already have two mechanisms to alleviate the cost of rates, rates rebate and rates deferral, neither of which are available to renters. We cannot support the introduction of a further increase in inequality of treatment.

To be equitable any rates relief must be tied to the person(s) affected regardless of their tenure.

### Petone assets

We support the view that Libraries are a keystone public asset that are constantly evolving to meet the needs of the community. We therefore support the redevelopment of the Petone Library as a multi purpose facility.

We have no policy that informs the case of either Petone Rec Grandstand or Wharf. We therefore support the least cost option for these assets.

## Housing development

We support the commitment to the development of 3500 new homes as part of the IAF funding initiative, but urge council to concentrate these on brownfield and inner city intensification sites rather than green field development. We recognise the potential for green field growth in Wainuiomata, but caution that the whole of system costs, including improved transport and water infrastructure costs need to be internalised to ensure that private developers contribute equitably.

## Infrastructure management

As noted above, we support the proposed investment in all three water infrastructure.

We are unclear as to the reason or scope of the “Eastern Hutt Road resilience” so cannot comment.

We support the development of the cross valley link based on the greater resilience this provides in the face of sea level rise, and the consequent ability to develop and promote Petone foreshore and esplanade as a regional recreation destination.

We fully support the investment in cycleway and micro mobility programmes, and note that the most important objective is a fully connected network with physical separation from vehicular traffic and that this will require re-allocation of space in the road corridor. We note that the Netherlands achieved the normalisation of active mode as the dominant transport mode through a combination of facilitating safe routes for active users and increasing the difficulty for private vehicular traffic to access or remain in city centres and suburban nodes. We strongly urge the council to adopt a similar approach.

For that reason we consider the ‘subdivision roading improvements’ should be targeted at active mode and PT access not the encouragement of more vehicular traffic.

## Finances

We note that ‘Roads, bridges and footpaths’ are the second highest expenditure. We have not seen a breakdown of this category, but note that the poor state of footpaths is a commonly received complaint. We strongly advocate for this expenditure to be given much higher priority. We suggest also that the council move to a far more rigorous application of user pays for road users, so far as it is within their ability. In particular we consider that a public asset intended to facilitate transport of all modes should not be used for the storage of private goods (ie parking of private vehicles).

## Development contribution policy

We fully support the policy that developers of new housing units should meet the cost of all downstream impacts on infrastructure. However, we are particularly concerned that a perverse incentive is not created that favours 'one off' house development on cross leases as in the past, rather than full site or multiple site development. Not only would this lead to inefficient land use, but indirectly helps perpetuate inefficient and costly housing stock and transport infrastructure.

We support the surcharge on developments with more than four bedrooms for the same reasons.

## Fees and charges

We fully support the increase in parking fees and the extension of parking charges to Jackson St and Britannia St car park, although we consider the proposed charges far short of the true economic cost. We believe that the public purse should not be called on to subsidise the temporary storage of private goods.

In addition all angled parking should be removed to improve safety and to free up road space for protected cycle lanes and, within Jackson St and the CBD, pedestrianisation. As noted in the consultation document, parking fees should be used to improve pedestrian and active mode access at the expense of private vehicles.

## Silverstream landfill.

Although we understand that much of the changes required are outside the ability of HCC to implement unilaterally, we are concerned that particularly in the construction industry, the existing cost structure incentivises waste disposal over recycling and reuse. We are perplexed that the cost of disposal at the tip is levied on entry and not based on the net amount disposed of after any items have been diverted for re-use and recycling. Again, giving no incentive to minimise waste.



## **SUBMISSION TO HUTT CITY TEN YEAR PLAN - May 2024**

We wish to be heard in person.

### **Summary**

- We acknowledge the inclusion of provisional funding for micro mobility in the ten year plan.
- We appreciate the challenging economic and financial climate in which the plan has been made.
- We applaud the recognition of climate change and resilience as a significant challenge, alongside the challenges of a growing population.
- Given the significant challenges of climate change and growth, we assert that not enough is being done to support mode shift as a priority.
- We reiterate the utility of mode shift in achieving environmental, economic and community wellbeing outcomes and improved health.
- We request the council to specifically commit to achieving mode shift by providing transport choices as a high priority objective.
- We recommend the addition of two KPIs for providing transport choices.
- We acknowledge the financial challenges faced by Hutt City and suggest exploring alternative approaches including:
  - Prioritised adoption of safe speeds,
  - Additional funding via widespread charges for on-street parking, including residential,
  - Bundling projects to save on costs, e.g. road space reallocation done at the same time as digging up the roads to replace leaking pipes.
- We remind council that unrecognised demand for safe walking and cycling spaces is demonstrated via the popularity of the Rivertrail, the Beltway and the newly opened Melling to Pito-one cycle path (despite connections to Te Ara Tupua still being two years away); and that the opportunity and benefits of reducing congestion on our roads is demonstrated every school holidays.

### **Who are we?**

The Hutt Cycle Network is a collective representing people in the Hutt Valley who use bikes for transport. We are focused on the improvement of the micromobility

infrastructure throughout the Hutt Valley, especially for people on bikes. We are committed to advocating for and supporting outcomes that ensure cycling becomes a safe and attractive method of transport in and around our city and region for all members of the Hutt Valley community. We recognise that this is vital for our health, our environment and our economy.

## **What people want**

Walking between a busy motorway and a railway line doesn't seem like a terribly attractive proposition. But many residents can be seen going out of their way to walk along the cycle path between Melling and Pito-one. Why would they do this? Because there are so few attractive alternatives. Similarly, despite a footpath on the opposite side to the Beltway cycle path, it remains very popular with walkers, dog walkers, and people on bikes - including many children. This shows that, despite a vocal minority who love to hate people on bikes, people do want places to walk and cycle. Wellington has demonstrated this by building a very popular cycling connection between Newtown and the Central City (along with many other routes).

## **Hutt City has the right direction**

The ten year plan affirms the importance of active transport to our city. In order to respond to the challenges of climate change and population growth we need to heighten the priority of active transport and adopt a strategy of mode shift. This has been included as a focus area in the Integrated Transport Strategy<sup>1</sup>, but we are waiting to see how this will be achieved and measured.

## **Contingent Funding**

The ten year plan recognises the uncertainty around central government co-funding of Micro-mobility projects. If this funding is pulled, active transport will be in the same waka as three waters: something local government wants and needs central government to fund, and subject to the political pendulum of government policy priorities. We know that decades of such wrangling over three waters funding has brought us to a state of near collapse of our water infrastructure. Leaving active transport to the same fate is irresponsible and makes us poor ancestors.

## **We need a plan that moves beyond induced demand**

We are very keen to see what plans are in place to achieve the integrated transport strategy beyond just building more roads. Research has proven that building bigger and better roads just encourages high levels of use, which leads to demand for even bigger roads<sup>2</sup>. Eventually you run out of space, as no one wants to live under a flyover.

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<sup>1</sup> <https://www.huttcity.govt.nz/environment-and-sustainability/integrated-transport-strategy>

<sup>2</sup> <https://www.nzta.govt.nz/resources/research/reports/717/>

## **What to do when there is no money**

We acknowledge the significant financial challenges facing the council. Given this situation we believe creative and bold leadership is required in order to fund the provision of transport choices for people and to encourage and enable mode shift. We suggest:

1. Widespread speed limit reductions
2. Monetizing our road space
3. Bundle projects where possible

## **Let's adopt safe speeds**

In our current economic environment we need to do everything we can do to keep our road users safe, including those walking and cycling. One way to do this is the widespread reduction of speed limits. Research shows this has very little impact on travel time, but a very big impact on the safety and attractiveness of our roadspaces to people walking and cycling, especially older and younger people.<sup>3</sup>

## **Let's talk Parking**

It is time for some tough conversations around how we fund and use our road space. HCN suggests that micromobility could be funded via widespread charging for on-street parking in the Hutt, including residential parking. We applaud the increased parking charges in the budget, but note that this does not cover the increased costs of roading, and thus does not go far enough.

As demonstrated by recent consultations, street parking is important to people. New apps encourage people to rent out their garages and driveways as parking spaces. Other people save money on storage by using their garages to store their collections and the street to store their vehicles. Meantime council foots the bill for cleaning and maintaining parts of the road reserve that are allocated to the storage of private vehicles. The societal and economic cost of providing such a significant private benefit with public assets could be partially passed onto the users of on-street parking. Rough modelling indicates this would easily fund increased spending on micro mobility, even allowing for administration costs. It would also change the dialogue about the 'rights' of parking.

## **Bundling has benefits**

When a roadspace is subject to other work, e.g. resealing, digging up for water pipe remediation, etc it would be prudent to also deliver micro mobility improvements to the road space at the same time. That way the costs of traffic management, resealing, etc could be shared.

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3

<https://www.nzta.govt.nz/assets/Highways-Information-Portal/Technical-disciplines/Air-quality/Planning-and-assessment/Vehicle-emissions-prediction-model/Effect-of-speed-on-greenhouse-gas-emissions-from-road-transport-a-review.pdf>

<https://www.canterbury.ac.nz/news-and-events/news/lower-speed-limits-save-lives-and-make-nz-cities-better-places-to-live>



## Integrated Transport Strategy

Council's Integrated Transport Strategy (2022)<sup>4</sup> articulated well the critical challenges faced by our transport system and the need for fundamental change.

This important strategy appears to have withered. The requested implementation plan has never been produced. Our transport decision making therefore continues in the same vacuum that prompted the ITS in the first place.

Most of the transport expenditure in the current 10 year plan continues a trajectory of further embedding car dependence in our transport system – with both the Cross Valley Link and Riverlink providing vast improvements for cars (in terms of both capacity and travel time reductions) that outstrip any benefits to other modes.

Notably, your performance measure for the length of cycle paths is simply to “Hold or improve length” (page 87, draft plan). That in no way reflects the statement of service performance (Draft Plan, page 86) which states “Our focus prioritises road safety, encourages mode-shift in transport choice, improved travel options, with a specific emphasis on mitigating climate change and delivery of infrastructure projects in a timely manner. “

### We get what we measure

The Integrated Transport Strategy includes the following focus areas:

- Create people-focused liveable streets around key transport hubs and local centres.
- Encourage people to rethink how & when they travel
- Making it easier for all people to use public transport.

We are waiting to find out how this will be achieved and measured.

Meanwhile the 10 year plans KPIs and their targets for active transport are a hit and a miss. Targets of 80% resident satisfaction with footpath, shared path and cycleway condition are a hit. The miss is the underwhelming targets of holding or improving the length of shared paths, cycle lanes and footpath renewals. This is at odds with a city that wants to encourage people to rethink how and when they travel and create people-focused liveable areas. We propose two additional KPIs to acknowledge the importance of and to drive accountability for mode shift by providing transport choices for a growing population with a changing climate, and which fit with the councils focus on:

<i>Focus Area:</i>	<i>Benefits of Providing Transport Choices:</i>
Providing future-fit	With a growing population we can't just magic

<sup>4</sup> <https://www.huttcity.govt.nz/environment-and-sustainability/integrated-transport-strategy>

<i>Focus Area:</i>	<i>Benefits of Providing Transport Choices:</i>
infrastructure	up space for more roads and carparks. We need to change how we use our road space to cater for a bigger population and the impacts of climate change on the space available.
Enabling a liveable city and vibrant neighbourhoods	A city is not made liveable by the availability of parking or increasing congestion. And neighbourhoods are not made vibrant when they are dominated by cars. Having more people moving about safely on our roads using their feet, their mobility devices and their bikes is what will make our city more livable and our neighbourhoods more vibrant.
Supporting and enhancing the environment.	Food waste contributes to only 4% <sup>5</sup> of total greenhouse gas emissions. 27% <sup>6</sup> of emissions come from cars and other passenger vehicles. So which do you focus on if you want to support and enhance the environment?

We recommend the addition of the **following KPIs** in order to link the aspirational statements to planning, action and measurement.

<i>Supporting and enhancing the environment:</i>	<b>Increase of use of active transport modes (walking, cycling and other).</b> Baseline data from 2018 census is 8% (travel to work).
<i>Enabling a liveable city and vibrant neighbourhoods:</i>	<b>Increase the number of children walking, biking or scooting to school.</b> Baseline data for Lower Hutt travel to/from Education is 27% <sup>7</sup> .

## **A focus on delivery**

Council has proposed similar cycle arterial networks in Cycle Strategies in 2006, 2014, 2019 and 2022. The expenditure in the 2024 10 year plan is largely the expenditure in the 2021 Plan shuffled 3 years down the line.

Over the last 4 years, expenditure on this network has been:

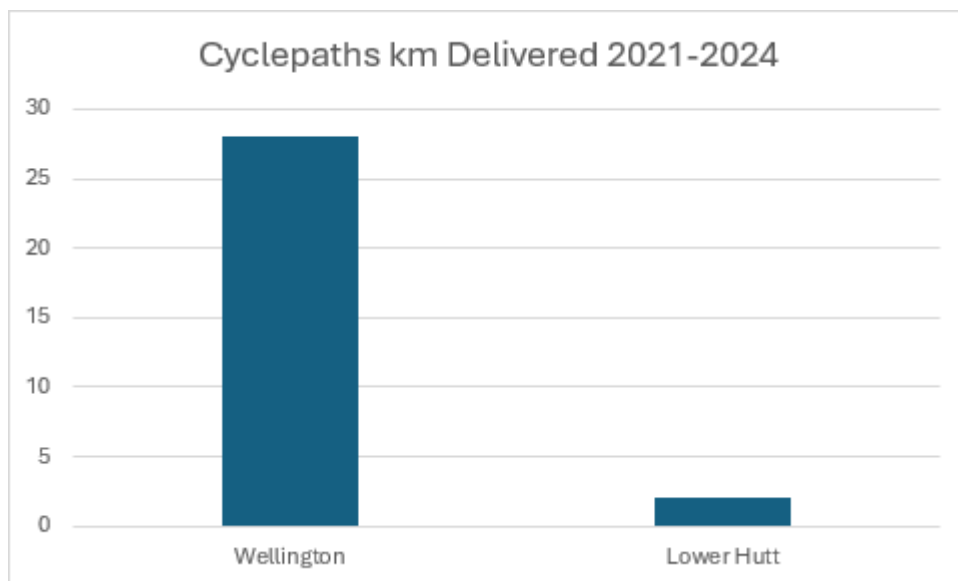
<sup>5</sup> <https://environment.govt.nz/what-government-is-doing/areas-of-work/waste/reducing-food-waste/>

<sup>6</sup> <https://environment.govt.nz/publications/our-atmosphere-and-climate-2020/chapter-2-our-activities-a-re-driving-emissions/#:~:text=Transport%20is%20the%20largest%20source%20of%20carbon%20dioxide%20emissions&text=Cars%20and%20other%20passenger%20vehicles,dioxide%20than%2010%20years%20previously.>

<sup>7</sup> [2019/20 Annual Monitoring Report for RLTP - Travel to and from Education](#)

	20/21	21/22	22/23	23/24	Total
<b>Magic Triangle in Avalon and Taita</b>					
External Contractor/Consultant			573,858	474,838	1,048,695
Consultation/Engagement			84,437	5,163	89,600
<b>The Waterloo/Knights Rd cycle paths and plan development</b>					
External Contractor/Consultant			414,634	5,524	420,158
Consultation/Engagement			2,736		2,736
<b>The CBD connections between Hutt River trails and the Waterloo path</b>					
External Contractor/Consultant			383,104	624,223	1,007,327
Consultation/Engagement				15,400	15,400
<b>The Petone Walking and Cycling Connectivity Study</b>					
External Contractor/Consultant			200,062		200,062
Consultation/Engagement			15,444		15,444
<b>The Esplanade Optimisation Study</b>					
External Contractor/Consultant	77,168				77,168
Consultation/Engagement					0
<b>Total - 20/21 to 23/24</b>					<b>2,876,590</b>

Notably, none of these arterial network improvements have been delivered – despite this \$2.8 m of expenditure.



Notably, Wellington City Council will deliver a further 6 km before mid 2025. Most these paths are separated cycle paths through space constrained streets with significant repurposing of on-street parking to multi-modal use and all were delivered outside of Lets Get Welly Moving funding. HCC's two delivered paths (Manor Park



**From:** [Brady Dyer](#)  
**To:** [haveyoursay](#)  
**Subject:** Late LTP Submission: Hutt Minoh House Friendship Trust  
**Date:** Tuesday, 7 May 2024 11:55:24 am

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Dear Hutt City Council,

I am writing to you on behalf of the Hutt Minoh House Friendship Trust, as its Chairman, to express our support for the inclusion of \$30,000 in the Long Term Plan 2024/34 to support the 30th anniversary celebrations of our sister city relationship with Minoh, Japan, in 2025.

As an organisation that has been at the forefront of fostering cultural exchange and mutual understanding between our communities, we deeply appreciate the Council's recognition and support of this significant milestone. The proposed funding will play a crucial role in facilitating a series of events and activities that will not only celebrate our long-standing relationship but also strengthen our cultural ties and community engagement.

We fully support the inclusion of this funding in the final Long Term Plan and are committed to collaborating closely with the Council, other community stakeholders, and our friends in Minoh to ensure the success of the celebrations.

Thank you for considering our submission. We look forward to your positive response and to a memorable celebration of our three decades of friendship and collaboration with Minoh.

Yours sincerely,

Brady Dyer  
Chairman, Hutt Minoh House Friendship Trust

3 May 2024

## Submission to the Hutt City Council on the 2024-2034 10 Year Plan

### Introduction

1. The National Council of Women of New Zealand, Te Kaunihera Wāhine o Aotearoa (NCWNZ) is an umbrella group representing around 60 affiliated organisations and 300 individual members. Collectively our reach is over 200,000 with many of our membership organisations representing all genders. NCWNZ has 13 branches across the country, one of which is the Hutt Valley Branch.
2. NCWNZ's vision is a gender equal New Zealand and research shows we will be better off socially and economically if we are gender equal. Through research, discussion and action, NCWNZ in partnership with others, seeks to realise its vision of gender equality because it is a basic human right.
3. This submission has been prepared by NCWNZ Hutt Valley Branch members.

### Ratonga wai | Water services

6. Water infrastructure needs prioritising over everything else. The infrastructure for drinking water, wastewater and stormwater is essential for a growing city. It is essential that none of the development causes issues with our river or harbour.
7. In any development, the Council should be mindful of climate change and services shouldn't be located near to where river and harbour will be.
8. We can see the practicality of water meters, but we believe there should be restrictions against them ever unfairly burdening low income or larger families.
9. Our members support the continued availability of the aquifers in Buick St and Laings Rd. These are a valued community service, that needs to be protected and managed well into the future.
10. Our preference is for Option 1.

### Ratonga kohi pararopi | Food organics and green organics collection service

11. The Branch has concerns about how food and green organics collection will play out for high-density housing areas, retirement villages, etc. Residential properties already have challenges in accommodating the existing recycling bins. There is not enough information about how Council will be dealing with plant and food waste. There were also concerns about the impact on commercial providers, as many citizens contract privately for green waste.

12. We would like to see a comprehensive strategy that includes the disposal of more problematic products like soft plastic and batteries.
13. We are concerned that the Government's *Te rautaki para Waste strategy*<sup>1</sup> does not indicate any Government funding for the council approach, which seems speculative.
14. Overall, we prefer Option 1.

### He murunga utu | Rates relief for low-income households

15. Hutt Valley Branch supports the Council's proposed rates remission policy for low-income households.

### Ngā hua pūmau | Pito One | Petone assets

16. Our members are pleased to see the development of hubs around the public libraries, eg as in Stokes Valley or Taitā. We support a redevelopment of Petone Library that will support use by a broad range of the community without detracting from current use.
17. We also support the conservation and archiving of historic records which need appropriate temperature and humidity controls, and it would be good to see these incorporated into a library redevelopment.
18. The Branch can understand the dilemma of the Petone wharf although no branch members wish to see it demolished. We are concerned that the Consultation Document does not mention consideration of the potential positive impact on public transport should the ferry return to using the wharf.
19. Facilities need to be included in the rebuild of the wharf and the recreation ground.
20. The branch does not favour either of the proposed options, rather the Petone library building from Option 1 and the Petone Wharf from Option 2.

### Ngā utu | Fees and charges

21. Some areas of the Valley are better served by public transport than others. More bus routes need to coordinate with trains in both directions, eg a person living in Naenae and working in Upper Hutt needs better bus connections to and from north bound trains. As our population grows in the midst of climate issues public transport will become increasingly important.
22. The introduction of parking fees in Petone needs to be in conjunction with improvement in public transport.
23. Petone seems to be "targeted" with the introduction of parking fees. While it might be the second biggest commercial centre for Hutt City, the same rules should apply in all commercial centres.

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<sup>1</sup> Ministry for the Environment. 2023. Te rautaki para | Waste strategy.  
<https://environment.govt.nz/assets/publications/Te-rautaki-para-Waste-strategy.pdf>

## Other points

24. Consideration should be given to facilities on walking tracks. Lower Hutt has a scarcity of public toilets, which is of particular concern for women, older people or those with health issues or disabilities.
25. The Hutt Valley has many green spaces and nice walkways. We congratulate the Council on their level of maintenance as they are part of what makes Hutt Valley a beautiful liveable area.
26. While some are not so keen on the proliferation of cycle ways, they are accepted for increasing safety for cyclists, and as a necessary alternative to cars as our population grows in the context of climate change and housing intensification.
27. We congratulate the Council on being an Accredited Living Wage Employer, especially for the contracted employees. The Hutt City Council must maintain this accreditation and pay the Living Wage as the minimum rate for all directly employed staff and for workers employed by Hutt City Council contractors as these contracts come up for renewal. This needs to be factored into the budget.
28. The Council is installing more CCTV cameras at the expense of the safe city ambassadors. While it has its place, CCTV does not replace people who may be able to defuse a situation developing, or provide other on-the-spot assistance.
29. There needs to be a balance between what households are asked to mitigate verses what commercial enterprises are. The burden on householders should not be disproportionate to where waste issues or water issues are produced.
30. The Hutt Valley has many suburbs. This 10-year plan concentrates on Petone. It is to be hoped that there are no major developments required in other suburbs that have not been mentioned in the plan.

## Conclusion

31. NCWNZ Hutt Valley Branch accepts that the Council has a big challenge to maintain and grow Te Awa Kairangi ki Tai Lower Hutt over the next 10 years.
32. In meeting this challenge there is a need to focus on infrastructure investment. For the city to be a place where everyone can thrive consideration should equally be given to the social aspects of strong communities.



Beryl Anderson ONZM FLIANZA  
President Hutt Valley Branch



2 May 2024

Hutt City Council  
39 Laings Road  
Lower Hutt

Kia ora,

**Feedback from the Hutt Valley Chamber of Commerce and the Lower Hutt business community to the 2024 – 2034 10 Year Plan Consultation Document**

The Hutt Valley Chamber of Commerce is writing to provide some feedback for consideration in finalising the 2024 – 2034 10 Year Plan. We thank you for the opportunity to do this and would note that this feedback is provided on behalf of the business community here in Lower Hutt. The feedback we are providing has been collected from various sources including surveys and face-to-face conversations with the business community.

**We understand the challenges.**

The Hutt Valley Chamber of Commerce recognises the challenges that are being faced by all organisations in the current economic environment. We recognise that this economic environment, including increased costs, higher interest rates, and high inflation is affecting all entities including the Hutt City Council. We also recognise the challenges faced by the Hutt City Council in needing to invest in significant infrastructure including water and other infrastructure that is needed over the next 10 plus years.

We would also note that these same factors exist for businesses across the region. Many businesses are facing lower sales, lower margins, and significant uncertainty of their pipeline of work in the current environment. The businesses are mostly operating in this tough economic environment, working very hard to keep going and keep the many jobs they support in place. These businesses, and the jobs they create and support, are a key pillar on which the Hutt Valley community operates. Without the wages and salaries that these businesses create the people and families would not be able to contribute to our local economy in the significant way they do today.

## **We are excited about our business community's future.**

The Hutt Valley Chamber of Commerce continues to be excited for the future of Hutt Valley and our business community. We are eagerly awaiting the commencement of the Te Wai Takamori o Te Awa Kairangi RiverLink project and the many jobs and long-term economic benefits this will create. We are excited about the many manufacturing businesses that we have in our region that continue to surprise us with their work, their innovation, their exporting to many countries around the world, and their contribution to our region, our regional GDP, and New Zealand's economy. And we continue to see many many businesses that are striving to operate every day despite these difficult economic times.

We would note however that businesses do continue to be asked to contribute at levels much higher than other ratepayers. This continues to be of concern to us. As you have identified 'The year ahead is going to be challenging'. Any additional increases for the business community make their role in our community more difficult.

As you note in the second paragraph of the Message from the Mayor and Chief Executive in your document, 'We are home to thousands of businesses and innovators who drive our economy'. We wholeheartedly agree with this statement. The business community does drive our economy. However, they are facing tough times, and we implore you to consider this when making your decisions about the rates increases and the significant increases you are asking of the business community. Whilst we understand your challenges, we also understand that without business, and the jobs they create and support, our community would not be where it is today.

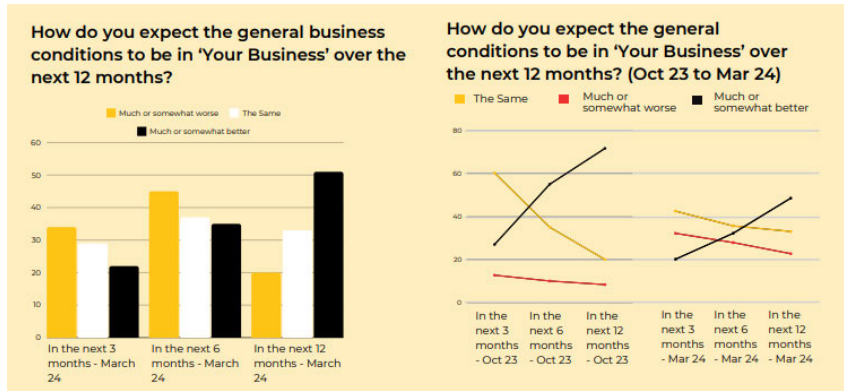
We would note the following when you are making your decisions:

### **1. Businesses are doing it tough.**

Our March 2024 Business Confidence Survey identified a very different and much more challenging business environment than we have seen for many years. The Pandemic created a set of challenges that was tough for business, but with good support and their hard work many businesses survived intact.

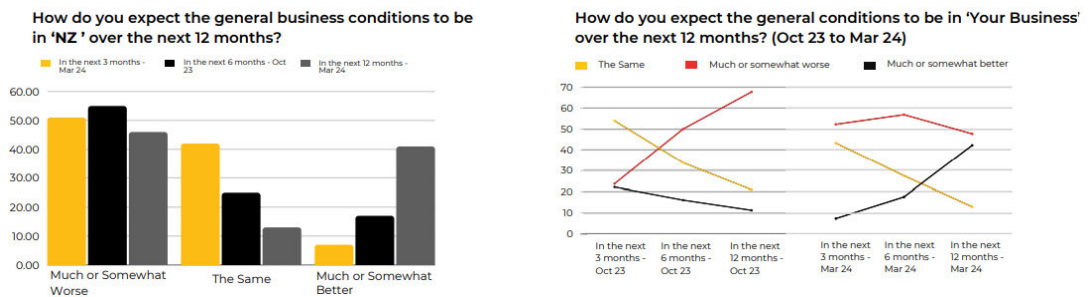
Our March 2024 Business Confidence Survey identified the following worrying challenges:

- Hutt Valley businesses are doing it tough, and it is much tougher than 6 months ago:



- Of most note is the number of businesses that expect their own business to be 'somewhat or much worse' in the next 3 months has risen to 34%, from 13% in six months.
- Of significant note is the numbers of businesses that feel things in their business will be 'much or somewhat better' is down to 34%, from 55% in six months.
- A good indicator is the business comment, 'We are experiencing a downturn in business.' The data reflected that this is not isolated.

- The Hutt Valley business outlook for New Zealand is poor:



- If the outlook for Hutt Valley business has changed significantly, then their view for New Zealand business is certainly of great concern.
- Of most note is the number of businesses that expect NZ business to be 'somewhat or much worse' in the next 3 months has risen to 51%, from 22% in six months.
- This mood is reflected even more in the 6 month and 12-month outlook where there has been a 39% and 35% negative swing respectively.
- Somewhat like their own business are the numbers of businesses that feel things in their business will be 'much or somewhat better' is down to 18%, from 50% in six months.

- Cost of doing business is not getting any better for Hutt Valley businesses:



- The cost of doing business is not getting any easier for Hutt Valley businesses with 75% of businesses saying that they expect the cost of doing business to be 'much more' or 'somewhat more' expensive over the next 6 months. This compares to only 42.86% in October 2023. The number of businesses who expect things to say the same has halved to 23.33% compared to October 2023.
- Businesses are saying things like "supplier costs are increasing and clients are looking for increasing value for money" and "margins are being squeezed".

A barometer for the Hutt Valley business community over the past few years has been their need for employment. The data from the March 2024 Business Confidence Survey indicates we have turned a corner in business ability and willingness to create jobs.

**Are you experiencing issues with filling staff vacancies in your business? - March 24**



- Organisations recruiting currently has dropped to 30%, from 47% in October 2023.
- Organisations expecting to recruit in 12 months is now 55%, compared to 67% in October 2023.
- Competition for labour from overseas markets continues to be a factor with a business commenting that "the impact of Australia on our labour markets - being more attractive pay packets. We are having to look for innovative ways to hold onto staff".

It is tough for businesses NOW! We ask you to consider their current position in your decisions about the contribution business makes.

**2. There are many other factors affecting the cost of doing business - They include:**

- **Inflation** – inflation remains stubborn in New Zealand and is continuing to impact Hutt Valley business in their cost to do business and serve their

customers. New Zealand's consumers price index increased 4.0 percent in the 12 months to the March 2024 quarter (figures released by Stats NZ).

- **Minimum Wage Increase** – taking effect from 1 April 2024 adult minimum wage will go up from \$22.70 to \$23.15 per hour, an increase of 2% This has added to the cost of doing business. Whilst this may not impact each business as many pay over the minimum wage, most will feel the affect from their suppliers passing on increased costs or wage demands from their own staff.
- **Raw material costs and supply** – rising raw material prices are a major challenge for business. Whether it's oil, electricity or other raw materials, many essential raw materials have seen their prices rise significantly in recent years. Rising raw material prices, such as oil, have a direct impact on the production costs of companies in various sectors. Whether in the automotive, aviation, agricultural or other industries, each sector is affected in its own specific way. When oil prices rise, so do fuel and transport costs in general, which can put a strain on companies' profit margins. This can lead to significant additional expenditure for business.
- **General wage pressures** – New Zealand earnings increased 6.9 percent in the year to the December 2023 quarter (according to data released by Stats NZ). Whilst wage pressure is slowing it is still a significant impact on a business and a further impact on their already slim margins.

### 3. The contribution of business continues to be significantly more than other ratepayers.

We continue to advocate for business when it comes to the share of the rates they contribute, and the additional amount they are asked to pay for comparable valuations.

Property Value	2023/4			2024/25			Var			Var			Factor vs Residential		Factor vs Residential	
	Residential	Commercial Suburban	Commercial Central	Residential	Commercial Suburban	Commercial Central	Residential	Commercial Suburban	Commercial Central	Residential	Commercial Suburban	Commercial Central	Commercial Suburban	Commercial Central	Commercial Suburban	Commercial Central
\$ 600,000	\$ 2,878	\$ 5,289	\$ 6,127	\$ 3,363	\$ 6,220	\$ 7,193	\$ 485	\$ 931	\$ 1,066	16.9%	17.6%	17.4%	18.4%	21.3%	185%	214%
\$ 800,000	\$ 3,316	\$ 6,522	\$ 7,640	\$ 3,872	\$ 7,662	\$ 8,959	\$ 556	\$ 1,140	\$ 1,319	16.8%	17.5%	17.3%	19.7%	23.0%	198%	231%
\$ 1,000,000	\$ 3,753	\$ 7,756	\$ 9,151	\$ 4,382	\$ 9,103	\$ 10,725	\$ 629	\$ 1,347	\$ 1,574	16.8%	17.4%	17.2%	20.7%	24.4%	208%	245%
\$ 1,200,000	\$ 4,191	\$ 8,989	\$ 10,666	\$ 4,892	\$ 10,545	\$ 12,491	\$ 701	\$ 1,556	\$ 1,825	16.7%	17.3%	17.1%	21.4%	25.4%	216%	255%
\$ 1,400,000	\$ 4,629	\$ 10,223	\$ 12,179	\$ 5,401	\$ 11,987	\$ 14,256	\$ 772	\$ 1,764	\$ 2,077	16.7%	17.3%	17.1%	22.1%	26.3%	222%	264%
\$ 1,600,000	\$ 5,067	\$ 11,456	\$ 13,693	\$ 5,911	\$ 13,428	\$ 16,022	\$ 844	\$ 1,972	\$ 2,329	16.7%	17.2%	17.0%	22.6%	27.0%	227%	271%

We would note that whilst the multiplier has only had minimal change the additional \$ that businesses are expected to pay will be significant to many of them.

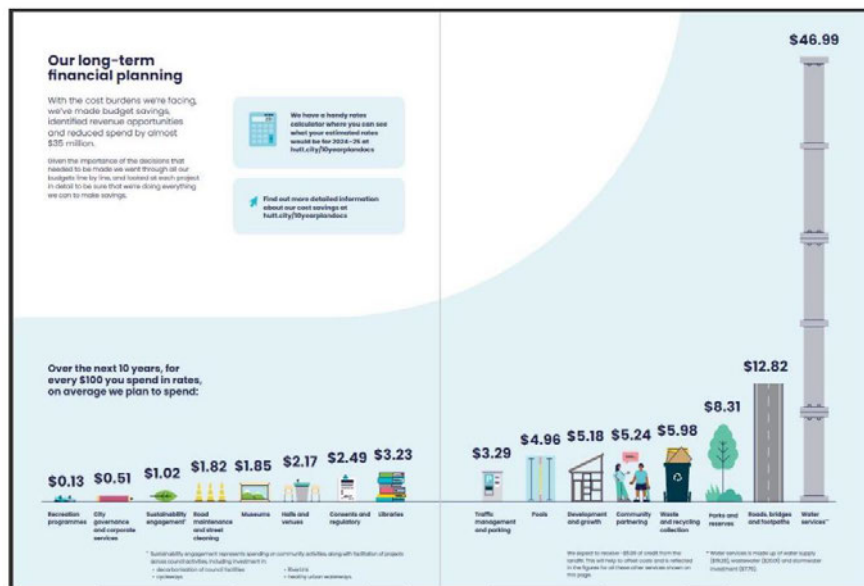
For example, a residential property with a value of \$1.2m will experience an increase of \$701 per year. This same valued commercial central business property will expect to pay an increase of \$1,825.

We would ask Hutt City Council to consider this significant additional contribution from business, both in terms of the actual dollar value but also the additional percentage being asked for.

### 4. Businesses use less services but are expected to pay more!

We welcome the transparency provided by Hutt City Council on how every \$100 will be spent. However, this transparency further highlights the contribution business is

expected to make versus other rate payers for services they either do not use or do not get, i.e. rubbish and recycling.



We would note that businesses consider that they do not benefit from the following items that believe to be included in their rates:

- Recreation programme - \$0.13
- Museums - \$1.85
- Halls and venues - \$2.17
- Libraries - \$3.13
- Pools - \$4.96
- Community Partnering - \$5.24
- Waste and Recycling Collection - \$5.98
- Parks and Reserves - \$8.31

Whilst we accept that as individuals (and most likely residential ratepayers through their rates or rent) they are likely to receive benefit, we would note that as a business they are unlikely to access or receive benefit from these services, totaling \$31.77 out of every \$100.

We would note that some services are not available to businesses, i.e. rubbish and recycling. Businesses are therefore faced with additional cost for these services yet are still being asked to contribute through their rates.

We ask that Hutt City Council consider this in setting rates for businesses in our region.

### 5. Development contribution increases may further stifle growth and new development.

We note that Hutt City Council have also proposed significant increases to the development contributions. Whilst we understand the principle of development contributions, we would also be concerned that such contributions, applied

unilaterally, will stifle growth and new development.

Our region relies heavily on our business community to sustain the jobs they create and will hopefully create in the future. We should be encouraging new businesses to come here, not put barriers in their way.

We would ask that the Hutt City Council review this proposal considering the following:

- The jobs that any development will create or support – developments can have a positive impact on new business and jobs creation.
- The type of business that the premises will enable – we would consider that industries with higher paying jobs can be incentivised through the way in which this development contribution is applied.

## **6. Parking fees increases are likely to penalise business and accessibility to business.**

We would note that Hutt City Council is proposing to increase costs of parking by 50%. In addition, we note that you are proposing to introduce parking fees in Petone. We are not in agreement with either of these proposals which we consider will:

- Adversely affect the business and their employees based in these areas where paid parking is in effect. Parking availability is essential for the employees of the businesses in the city and for their customers. Many people have limited alternatives with relatively poor public transport available in the Hutt Valley between residential areas and their place of work. These additional fees will add to already struggling households.
- Adversely affect Petone as a destination for the many businesses that operate in this area. Businesses, particularly in the retail and hospitality sectors, rely on customers being able to park for short periods of time. Whilst we have heard the argument that people do park for longer, we consider that the current time-limited parking method and monitoring is adequate.

Accessibility of the Hutt City region was the single most important factor in the Council's own retail analysis work in the last 12 months. We would consider that parking fees will not support this accessibility and people coming to our region to shop and spend their money. We recommend the current parking fees and areas are maintained. We also recommend that the Council undertake a piece of work for Petone to ask people coming to that area if they will still come with parking costs in place.

## **7. The 10-year outlook is unsustainable**

We note with interest the 10-year outlook for rates in Hutt City. The cumulative effective of the plan you are consulting on is that rate payers will be paying 162.2% of the current rates by year 10. This will be significantly more than the current or expected rate of inflation. We feel this will be too much for many businesses to bear

and we seek your ongoing review of this amount, as well as a way to more fairly attribute the costs.

	2024/5	2025/6	2026/7	2027/8	2028/9	2029/30	2030/31	2031/32	3032/33	2033/34	Total
Increase	16.90%	12%	12.40%	9.50%	11%	11%	7.20%	7.20%	7.20%	7.20%	101.60%
\$ 100.00	\$ 116.90	\$ 130.93	\$ 147.16	\$ 161.14	\$ 178.87	\$ 198.54	\$ 212.84	\$ 228.16	\$ 244.59	\$ 262.20	162.2%

## 8. Business being recognised for their contribution

Undoubtedly business plays a significant role in our community. They:

- Contribute to our local, regional and national GDP.
- They contribute just under 40% of the rates here in Hutt City
- The support jobs and salaries which all help our region through the spend of these employees.
- Many of the business owners and their employees live in the Hutt Valley and own or rent houses. This in turn contributes to the rates of Hutt City.
- Business owners and their staff play a large role in our community in many different ways.

As the council has to 'balance the budget' business has to stick to their budgets every month, and every year. It is a tough economic environment and business cannot just go to their customers with a demand like this. Business is facing all of the costs that Council is facing but is not able to put their prices up by 17% due to the current economic environment.

Business is not easy, particularly at the current time. We ask that the Hutt City Council recognise this in your decision making. Businesses should not be penalised through higher rates just because they are a business. They already contribute through the many areas of economic support noted above.

We need business to thrive for our community to thrive and our city to thrive.

We would though encourage Hutt City Council to think about ways to support our business community and provide different ways to do this. For example, rate relief could be applied to some of the following ideas:

- **Transport modes** – reward businesses for purchasing vehicles or transport modes which are good for the environment, i.e. electric bikes. The Government has started this type of reward through the Clean Car Discount. This could be something that the Hutt City Council looks at to incentivise behaviour change.
- **Clean Energy** – reward businesses that include clean energy options in their buildings, i.e. solar energy.
- **Recycling** – many businesses are already taking steps to reduce their waste at their own cost. Supporting this work would be a useful addition from Hutt City Council.
- **Jobs creation** – reward business for the job creation that they make every year. Jobs add to our economy, our GDP and our city thriving.



- **Food Organics** – some businesses are already taking steps to manage their food waste. They are doing this at their own cost, and at the same time supporting the environment. We note there is no mention of supporting businesses in your proposal on Food Organics and believe this would be a useful support for businesses already taking action.
- **Building new premises** – reward business for upgrading their premises and building new premises. Enable this rather than penalise it through additional costs.
- **Procurement and using local firms** – like the Hutt City Council business wants to support local. In their words, ‘We would prefer to walk down the road and get work done than go elsewhere’. We would like to see more rewards for business to use local suppliers.

These types of ideas are useful not only in supporting businesses, but they also underpin a behaviour change that reinforces the overall plans the Hutt City Council have. We know that there are businesses across Hutt City successfully promoting such ideas. However, there is nothing in place to assist them or others through the current proposed package. We also consider this to be an opportunity for the Hutt City Council to be more widely supporting their own work to their Climate Action Plan goals.

#### **9. Business is interested in being involved in decision making.**

Business has to make tough decisions every day to balance their budgets. They know how challenging this can be. They are keen to support the council with expenditure decision making. The Hutt Valley Chamber of Commerce would welcome the opportunity for a small business group to participate in decisions on council procurement and expenditure, bring their expertise to the table.

Our overwhelming desire is that we do have a strong and thriving community with businesses employing people and being successful. We believe a thriving business community is at the heart of making Hutt City a great place to live, work and play, and ask you to consider a more equitable level of business rates and charges as you finalise your Long Term Plan.

We would welcome the opportunity to come and talk to this submission with the Council if this is appropriate.

Thank you for your consideration of this feedback.

Nga mihi



Patrick McKibbin

**Chief Executive**

Hutt Valley Chamber of Commerce and  
Industry [REDACTED], Lower Hutt

T: [REDACTED]

E: [REDACTED]

cc: Mark Skelly, President, Hutt Valley Chamber of Commerce



**Submission on Hutt City Council Long Term Plan 2024-2034**

From: Nik Zangouropoulos – Building Owner, Jackson Street, Petone and Chair of Jackson Street Programme

Contact details: Mobile phone: [REDACTED]; Email: [REDACTED]

**1. Unrestrained Spending**

The ratepayers of Hutt City are facing extremely large increases in their rates bills in the next one, three and ten years. It is apparent that a significant part of this is related to deferred expenditure on infrastructure that is now “coming home to roost”. We support this proposed infrastructure expenditure.

While there is an obvious and compelling case for this spending, that is not the case for the balance of proposed spending, where there is more flexibility and choice.

The table below summarises the Council’s proposed expenditure for a significant part of the non-infrastructure budget - employee costs.

<b>HCC Employee Costs</b>				
<b>Activity</b>	<b>2023/24</b>	<b>2024/25</b>	<b>Change</b>	<b>Underlying</b>
Water Supply	-	-	-	
Wastewater	-	-	-	
Stormwater	-	-	-	
Solid Waste	254	328	29.1%	24.6%
Sustainability & Resilience	936	977	4.4%	-0.1%
Regulatory Services	9,556	11,690	22.3%	17.8%
Transport	2,047	2,722	33.0%	28.5%
City Development	1,679	1,958	16.6%	12.1%
Community Partnering	4,125	4,103	-0.5%	-5.0%
Open Spaces, Parks, Reserves	969	1,097	13.2%	8.7%
Connectivity, Creativity, Learning & Recreation	9,330	10,603	13.6%	9.1%
Governance, Statutory & Partnerships	1,148	1,403	22.2%	17.7%
Corporate Services	15,329	17,723	15.6%	11.1%
<b>Total Identified from LTP Document</b>	<b>45,373</b>	<b>52,604</b>	<b>15.9%</b>	<b>11.4%</b>

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When one accounts for the 4.5% assumption for wage increases, there is a proposed 11.4% increase in underlying employee costs (i.e., ostensibly the net change in staff numbers). The growth is largely across the board – there are two categories that are not increasing, but there are eight categories that are increasing by between 8.7% and 28.5%.

Central government is currently implementing cuts of 6.5% to 7.5% to its baseline costs, and most of the private sector is dealing with sinking or flat budgets, or in the very best case, only small increases. An overall increase of 15.9% and an increase of 11.4% net of wage increases is impossible to understand in this climate.

The JSP fully understands that some areas need attention e.g., the consenting team has obviously faced some serious pressures in the past year, and/or some employee expenditure may have offsetting revenue. These cases, however, account for only a small share of the overall increase which is spread across most council activities.

## **2. Restrained Spending – Behave Like Your Ratepayers**

The council is justifying its expenditure on the proposed benefits that the expenditure will generate. The majority of Hutt City households, businesses and organisations (i.e., ratepayers) could do the same thing. They could identify expenditure that would produce long term benefits. The only difference is that they would run out of money or risk going out of business before the benefits arrived.

The Council doesn't face those realities – instead it chooses to spend other peoples' money, only because it can. The alternative is to behave like the rest of us, who do not have the power to get more money from our employer or charge our customers more. We have to cut our cloth accordingly, we have to live within our means, we have to restrain and ration our spending. It is wrong that the Hutt City Council should not only ignore the everyday challenges facing its ratepayers, but in the process compound those very challenges by heaping unnecessary financial burdens on top of them.

## **3. Choice and Impact**

The proposed rates increase of almost 50% in the next three years combined with proposed paid parking and other fee increases would kill some Petone businesses. If these proposed changes go ahead, while Council spending increases in the insensitive and unjustifiable manner proposed here, you

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can imagine what Petone retailers and residents will think of the Hutt City Council – its councillors and its officers.

Thank you for the opportunity to make this submission, **I would like to make an oral submission in relation to the above at the hearing that considers the Draft Long Term Plan.**

Nik Zangouropoulos. Chair, Jackson Street Programme

30 April 2024

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Jackson Street Programme Inc.

[REDACTED]  
Petone  
Lower Hutt

Email:- [REDACTED]  
Phone:- [REDACTED]  
Cell:- [REDACTED]

2<sup>nd</sup> of May 2024

Submission on the Long-Term Plan 2024 – 2034 for Hutt City Council

#### Water Services

Given the two options that council have put up water meters would be mandatory in a time when it could be viewed as a nice to have. Happy to support that all new builds have universal water meters installed but believe that if water meters to be installed from 2024-2025 and take six years to install then target the new builds first and look to push the rest of the city post the first three years. But investing in the renewals and leaks and capital expenditure on the wastewater systems first.

#### Rates Relief

Whilst this is a nice to have there will be many in the community that won't qualify but will be in as much need of assistance. Where is the assistance for the businesses that find themselves in similar situations as a resident. They don't even qualify for a government handout. The challenge at present for most small businesses especially hospitality and retail are their reserves are already at a critical point where many have stopped paying themselves a salary and many are considering do I stay or do I close the business. Unlike the ever-increasing business that are setting up in their residences and don't pay a business rate. HOW IS THAT FAIR ?

#### Petone Assets

It is a pity that the two options that have be put to the community don't allow us to put our own suggestions forward. We certainly support the investment in the Petone Library as we see this as critical in the offering to the local residents and the Historical repository is an amazing asset to the community.

We also support the investment of the \$ 6 million to demolish the wharf but see this as a nice to have and when we weigh this up against the community needs which should be the focus of Business as usual looking after the basic infrastructures surely, we could push the demolish of the wharf past the first three years.

With regards to the Petone Rec Grandstand we support the option given in Option 2 with the investment of \$4.8m on the grandstand. With an economic overlay when considering these two options we feel the suggestions we have made give the businesses a better return on investment of rates funding.

### Managing our Assets

We would like to caution the approach here with regards to some of the community assets. Whilst we support and welcome the investment in the Petone library we would not like to see the possible sale of the Petone Community House. We often field enquiries from councillors and other services that require a certain amount of anonymity with regards to the delivering of their services to the community which I don't see a community hub out of a shared library space would offer. Happy to collective group a couple of close by community houses but not to sell them off.

### Development Contributions

We understand that as a council you want to ensure there is affordable housing for the community and there needs to be a burden carried by the developers in meeting the stressors put on the infrastructure in the city. But when we look at the distribution of cot across the city we challenge whether the matrix used is a fair and equitable split.

### Infrastructure Strategy

There is no denying that a significant amount of funding is needed for the three water services need to be delivered for the city and this we support but is a need to go as far as investing in the installation of water meters when the community is finding it very difficult the moment in that their disposable income is shrinking. When decisions are being made do, I pay my rates or pay my increased insurance policy or buy little johnny his much-needed pair of shoes? We would ask that the council look at the Business as usual that needs to be investment in the high priority need for the community and push out the wants and nice to haves for at least three years.

### Financial Strategy

We have some concerns about this strategy that talks about delivering council services in an efficient and cost effect away but whilst savings have been made, we don't think that you have looked hard enough at what can be differed but have just look at cuts. We believe there are projects can be deferred.

In short we don't agree with some of the things that the council are wanting to introduce in this Long Term Plan:

- Paid parking in Petone. We have attached a petition that has been supported by businesses, local residents and shoppers who come to Petone because we don't have paid parking. Our businesses have gone through enormous stressors since the onsite of COVID and the many compliances legislation since that has been handed down by central government. Climate events have affected our hospitality industry with the disruption and rising costs of products then we have all been affected by the huge insurance cost.
- We are also very aware of the increase in home occupation which is getting a free ride and we as business and residence are supporting. How is that fair? Has council ever looked at this equity?

We would welcome the opportunity to speak to our submission.

Regards

Hellen Swales

Coordinator

Jackson Street Programme Inc.

**From:** [Susie James](#)  
**To:** [haveyoursay](#)  
**Subject:** [EXTERNAL] 10 year plan comments  
**Date:** Friday, 3 May 2024 4:24:18 pm

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Good afternoon,

I include here my comments on the 10 year plan that you have sought public feedback on. Thank you for opportunity to participate. I believe democracy is very important and as such had concerns about the survey which favours the preferred options and not a lot of options to click or opportunity to voice partial support or add comment. Hence, I have chosen to include my comments below.

Water metres

I do not agree with installing water metres at present. There was no details about how this would work. I think it is import to first prioritize fixing the infrastructure and money should be directed towards that.

Green waste

This has its benefits but needs to have include benefit for people who already compost/ recycle/ reduce so that there is incentive to reduce waste to landfill. Not everyone needs a green bin so should not have to pay for it.

Red bin collection should be weekly for health reasons.

Petone Wharf

I believe the Wharf should stay and the most affordable way to restore it done. This does not need to be the over-engineered proposal that the Council has looked into as an option. Be creative and find some way rather no honouring the Council's previous promise to reconsider options.

It was well utilised prior to closure and is an important community asset. It assists in people's mental and physical wellbeing.

Developments: Subdivision roading improvements/ Development contributions

Developers should pay the FULL cost of ALL elements related to the current infrastructure. They need to pay their part towards increasing the capacity for roads, sewage, recreation, and other infrastructure. Why not make developers pay for upgrade of the pipes on road that they building on? Rather than being the extra burden on aging and already fragile infrastructure not set up for the amount of development taking place.

New development needs to include better parking, particularly on streets with schools, pools and other shared amenities.

Amenities

Yes to the Petone Library, Naenae Pool, shared coastal pathway.

Water Infrastructure Investment



Please spend the time and money to fix the problems properly. This would reduce the need for metres.

#### Rates remission

I understand the decision for this but it needs to be done well to encompass only those in real need.

#### Parking fees

I do not agree with implementing paid parking in Petone. It would not provide the support needed for small local business in these tougher times and take away a positive point of difference from other shopping areas (people will go to Queensgate with free parking). It would also push people to park in residential areas which are already congested around Petone shopping streets. Enforce the parking times more and you will increase the turnover.

Thank you again for the important opportunity to have a say my community's long term plan. I would like to see a survey with more options and a chance to actually have a say next time please.

Susie James

**From:** [neelu\\_jennings](#)  
**To:** [haveyoursay](#)  
**Subject:** [EXTERNAL] submission to HCC LTP  
**Date:** Thursday, 2 May 2024 3:18:51 pm

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## Submission to HCC long term plan

The HCC LTP needs more emphasis on the needs of the disability community. This is a priority considering that HCC has one of the highest prevalence of disabled people in NZ.

Increasing accessibility is important as many disabled people struggle to get around our city. This is due to the car centric nature of the city which lacks safe walking and cycling options and safe road crossings. Many parks, playgrounds and other recreational facilities are not accessible to disabled people. Signage, marking and way finding is not evident in many cases, pavement condition is not maintained and dangerous for many citizens and, accessible public toilets are few and far between.

Please see this as my submission to the LTP and I am happy to orally present this.

Thanks

Neelu Jennings



**Hutt Living Wage Network  
Submission  
to Hutt City Council  
Long Term Plan  
2024-34**

## **Introduction**

The Hutt Valley living Wage Network is proud of the work the Hutt City Council has done so far in becoming an Accredited Living Wage Employer.

The commitments made by the Mayor and Councillors to lift the wages of Hutt City Council directly employed and regularly contracted workers show a Council that values its people the same way the community does.

It also shows that the Hutt City Council understands the positive impact the living wage can have in the local community and the local economy through its actions.

## **Our Submission**

Our submission to the Hutt City Council Long Term Plan is asking for the following:

- That Hutt City Council maintains the Living Wage as the minimum rate for all directly employed staff and for workers employed by Hutt City Council contractors as these contracts come up for renewal.
- That Hutt City Council maintains its Accredited Living Wage Employer status.
- Ensuring that all Council Controlled Organisations where Hutt City Council has an ownership interest commit to becoming Accredited Living Wage Employers.
- That Hutt City Council works with the Hutt Valley Living Wage Network to champion the Living Wage in Hutt City by:
  - Continuing to promote the Living Wage with local employers.
  - Exploring ways to include the promotion of the Living Wage in all Council communications and campaigns.
  - Reviewing its procurement policy to ensure that within the life of the LTP all providers of products and services to the Council, and providers contracted to deliver services on behalf of the Council, pay the Living Wage.
  - Working with the Greater Wellington Regional Council and other local authorities that are signatories to the Te Upoko o te Ika a Maui Commitment, to broaden the scope of the Commitment to include the Living Wage as an integral part of social procurement in the region.

## **Hutt Valley Living Wage Network**

The Hutt Valley Living Wage Network is a community network made up of local leaders from community organisations, faith groups, and unions. We are part of the wider national Living Wage Movement, made up of over 150 organisations from community, faith, and union backgrounds.

In the 2022 local election campaign, we held a forum at Avalon School which was attended by around 120 people. At that forum and during the election campaign just about all the members of the current council, including the Mayor and Deputy Mayor, made a commitment to the following asks:

- Maintaining the NZ Living Wage rate for the directly employed Council workforce.
- Maintaining the Living Wage for workers employed by contractors, as contracts come up for renegotiation
- Maintaining Hutt City Council’s Living Wage accreditation.
- Working with Living Wage Hutt Valley to champion the Living Wage in Hutt City

We are now looking to have these commitments reflected in the Council Long Term Plan.

### **Hutt City is ready for the Living Wage!**

There are currently over 370 accredited living wage employers around the country, over 130 of which are in the Wellington region. They range from big banks, energy companies and legal firms, to NGOs and small niche businesses. Accreditation is about gaining approval to use the term “Living Wage Employer” and to display the accredited living wage employer logo.

Wellington City Council was the first New Zealand council to be an accredited living wage employer followed by the Dunedin City Council, the Hutt City Council, the Christchurch City Council, Porirua City Council and Kāpiti District Council. Other councils, such as the Greater Wellington Regional Council, Hamilton City Council and the Auckland Council are on their way to accreditation.

Parliamentary Services adopted the living wage in 2018 for both directly-employed and contracted staff, secondary and primary schools adopted the living wage for directly-employed staff in 2019 and the NZ Government commenced rolling out the living wage to workers employed by contractors to the core public service in 2020.

Community surveys have shown a high level of support for the living wage.

Comments from Lower Hutt Living Wage community organisations are typical of such thoughts:

Comments from two of the Hutt Valley Living Wage community organisations are typical of such thoughts:

*“Kokiri supports the living wage because all whanau who receive a wage need to be paid enough to live on, morally and ethically it is the right thing to do.*

*Kokiri has paid our staff the living wage for over 5 years now and staff feedback has been it has made their lives easier, they don’t need to look for other part time work, they don’t need to compromise on important things like going to the GP or getting their scripts filled. Most importantly they feel valued.*

*It is important that HCC continues to support and promote the living wage throughout its own procurement policy. Surely, we want to be seen as a city that takes care of its people and this is one of the ways we can do that.”*

(Teresea Olsen, Kokiri Marae Keriana Olsen Trust)

“Te Awakairangi Health Network is an accredited living wage employer because we believe that liveable wages are a major factor in good health. Our experience has shown that adopting the living wage for contractors has meant that we receive a better service from the contractor and their staff members. We congratulate the Hutt City Council on the leadership they have shown around the living wage.”

(Bridget Allan, Chief Executive Te Awakairangi Health Network)

### **The Benefits of the Living Wage**

As well as being having a positive impact on the lives of workers themselves, extensive research both in New Zealand and overseas shows the Living Wage benefits the wider community in a variety of ways.

1. Workers who are paid the Living Wage are more productive.
2. When people on low incomes have more discretionary income, they spend it on local businesses and stimulate the local economy.
3. Job turnover is reduced.
4. No perceptible growth in unemployment through raising the wages of those workers on the lowest rates.

There is extensive research on this topic, which includes benefits for the workers, the employers and for local economic development. We have included some references at the end of this submission.

### **The Draft LTP**

The Hutt City Council Draft Long Term Plan is heavily focussed on infrastructure investment. We don't disagree with this emphasis given the state of our water reticulation and other essential services.

However, in the introduction to the Long Term Plan the Mayor and the HCC Chief Executive say, *“We want to do more to ensure that our city is a place where everyone can thrive.”*

Thriving is not just about roads, water pipes and council facilities, but is also about building strong communities and ensuring Lower Hutt residents have adequate income to be able to participate in our city activities. Too many of our residents work ridiculously long hours to earn an adequate income and in the process don't have time for participation in their childrens' schools, and in local recreation and cultural activities.

### **Proposed New Provisions for the HCC Long Term Plan**

#### ***1. Maintenance of Living Wage Employment accreditation***

We asked all council candidates to commit to continue to pay the Living Wage to both directly employed staff and those employed by contractors. These asks were committed to

by the majority of councillors elected in 2022. To ensure that accreditation is maintained it is important that these commitments are repeated in the Long-Term Plan.

## *2. Promoting the Living Wage with local employers/incorporating the Living Wage in all comms and campaigns*

We know the Living Wage can make a huge difference to workers but it can also make a huge difference to employers and communities. We think it is in the Council's interests to promote the Living Wage to local employers as it is a relatively low-cost way to boost the Council and their communities and create a positive vibe for Lower Hutt. The LTP should contain this commitment together with some examples of what the Council intends to do.:

- Include reference to the Living Wage in existing Council marketing and communications.

A message or statement about the Council's commitment to the Living Wage and the reasons why the Council made this decision could be included in existing marketing and comms (e.g. E-news, website, social media and regular paper publications) and as new local employers become accredited publicising this via these media.

- 'Proudly Living Wage'

Using Proudly Living Wage slogan widely in both internal and external comms and events e.g. in email signatures in-house and promoting events that the Council is involved in as 'Proudly Living Wage events'.

- Platform Living Wage businesses

These can be stand-alone stories but Council can also give Accredited Living Wage Employers preferential treatment in marketing channels. Form a Living Wage Employer Chamber of Commerce.

- Actively campaigning on the Living Wage

- Promote the Living Wage as making Lower Hutt a great place to live and work. How it allows Council staff to be more activate in communities and how other workers could also have that time

## *3. Reviewing Council's Procurement Policy/broadening the scope of the Te Upoko o Te Ika a Māui Commitment*

Government agencies, local authorities and big corporates are waking up to the importance of social procurement.

Social procurement means putting the organisation's purchase of services through a new lens – not just a lens that looks simply at price and quality for the purchasing organisation – but adding to that the social value that can be created through well thought out procurement. It can mean not only that procuring organisations can ensure that Māori, Pasifika and other diverse businesses can get better access to important contracts, but also address the issues of living standards, health and safety and conditions of employment of those who are employed by contracting organisations.

Living Wage employer accreditation just applies to directly employed staff and those employed by contractors delivering a service to Council on an ongoing basis, such as cleaners. Social procurement would apply to a much wider range of contracted services to the Council and those that are delivered on behalf of Council. This is an important mechanism for enabling Lower Hutt to become a Living Wage City. In the previous Long Term Plan Hutt City CEO Jo Miller put this proposition very well:

*These large-scale projects, as well as bringing significant economic benefits to our city, also provide us with a new opportunity to procure services in a different way when local jobs are created with opportunities for advancement, people are paid a living wage and the environment is at the forefront of decisions.*

We are asking the Hutt City Council to review its procurement policy through the lens of social procurement to ensure that the Living Wage becomes an essential criteria for all meaningful contracts let by the Council.

In Wellington we also have Te Upoko o Te Ika a Māui Commitment, which is a region-wide agreement, led by Greater Wellington Regional Council, to use procurement as a tool for building social and economic prosperity. Co-signed by Wellington City Council, Upper Hutt City Council, Porirua City Council, Hutt City Council, and Kāpiti Coast District Council, the Commitment is designed so that councils commit to setting targets to procure more services from Māori and Pasifika businesses. The Living Wage Movement strongly supports the goals of the Commitment, which has already made a notable contribution to channeling business to the target providers. However, the Commitment has the potential to go beyond its original goals to incorporate the payment of the Living Wage as a requirement for all regular and ongoing contracts, whether one-off, short-term, medium-term or long-term.

As a signatory to Te Upoko o Te Ika a Māui Commitment we are asking the Hutt City council to advocate for this with your fellow signatory local authorities.

#### *4. Ensuring that all CCOs become Accredited Living Wage Employers*

We are asking that all council-controlled organisations where the Hutt City Council has an ownership interest, commit to becoming Accredited Living Wage Employers.

The Hutt City Council has an ownership interest in the following CCOs, either on its own or in conjunction with other councils in the region.

- Wellington Water

Wellington Water is owned by the Hutt, Porirua, Upper Hutt and Wellington city councils, South Wairarapa District Council and Greater Wellington Regional Council. A majority shareholding of Accredited Living Wage Employers. The councils interface with these CCOs through their statement of intent – which according to the shareholder agreement drives all “business of the company.”

The Living Wage Movement is asking for the Hutt City Council to use their shareholding interest to include in the statement of intent a direction from the



shareholders for Wellington Water to become an Accredited Living Wage Employer within the next six months.

- Urban Plus

Urban Plus is owned by Hutt City Council and was established in July 2007. It is classified as a CTO (a council controlled trading organisation). It is described as a 'multi-faceted' property management and development company. It aims to deliver social housing, and also manages 200 units on behalf of Hutt City Council.

The Living Wage Movement is asking for the Hutt City Council to include in the statement of intent to the board a direction for the Urban Plus to become an Accredited Living Wage Employer within the next six months.

### **Conclusion**

The Hutt City Council has made good progress in recent years in implementing the Living Wage and are to be congratulated for this. This review of the Long-Term Plan offers the opportunity for the Council to take the next step to make Lower Hutt a Living Wage city by promoting the Living Wage to local employers and the community, and ensuring that all CCOs pay the Living Wage and become Accredited Living Wage Employers. We trust that Council will seize this opportunity.



**Muriel Tunoho**  
**Chairperson**  
**Hutt Valley Living Wage Network**  
Ph: [REDACTED]

## Appendix – Research into effect of living wage

Thompson and Chapman (2006), in a detailed survey of 20 American cities, found that the actual budgetary effect of living wage laws had been consistently overestimated by city administrators; actual costs tended to be less than one-tenth of 1% of the overall budget.

Chapman, J. and Thompson, J. (2006) *The economic impact of local living wages Report*. Economic Policy Institute.

Maloney and Gilbertson (2013 – AUT and Auckland Council) drew on studies from North America, the UK and New Zealand. Paying a living wage can increase productivity, reduce worker turnover and absenteeism, and improve the quality of future job applicants. They said that there may be a reduction in employment levels and hours of work but that “*the empirical evidence on these effects is quite limited*”. In sum, they considered that “*the living wage has a relatively small cost impact on many firms*” but greater on businesses with a higher proportion of workers on low pay.

Maloney, T. and Gilbertson, A. (2013) *A Literature Review on the Effects of Living Wage Policies*, Technical Report 2013/034, August, Auckland Council

Zeng and Honig examined the differences between living wage and minimum wage workers on three attitudinal and behavioural outcomes: affective commitment, organizational citizenship behaviour and turnover intention. They also also examined the effects of training and benefits on the three outcomes. The “*results show that living wage workers have higher affective commitment and lower turnover intention*”. Training and benefits also improve workers' attitudinal and behavioural outcomes.

Zeng, Z., & Honig, B. (2016). A study of living wage effects on employees' performance-related attitudes and behaviour. *Canadian Journal of Administrative Sciences*, 34, 19-32. doi:10.1002/CJAS.1375

Carr, Haar and Hodgetts et. al. 2019 in a study with a nationally representative sample of 1011 low-waged New Zealanders measured each participant's hourly pay rate, number of household dependents and total household income, alongside individual job attitudes indicative of quality of work life (job satisfaction, work engagement, career satisfaction, meaningful empowerment, affective commitment, organizational citizenship behaviours and work-life balance). “*As a set, job attitudes consistently pivoted upwards into positive values approximating the campaign LW rate in New Zealand*”. The effect size was greater “*among lowest-waged workers, in single-income households*”. They also noted that “*paying at or above the living wage threshold may bring productivity gains and thereby contribute toward decent work and economic development combined*”.

Carr, S., Haar, Hodgetts, D., Arrowsmith, J., Parker, J., Young-Hauser, A., Alefaio-Tuglia, S. and Jones, H. (2019) An Employee's Living Wage and Their Quality of Work Life: How Important are Household Size and Household Income? *J Sustain Res*. 2019;1:e190007. <https://doi.org/10.20900/jsr20190007>



# LOWER HUTT CITY ASSOCIATION FOOTBALL & SPORTS CLUB INC.

**Clubrooms  
Ricoh Centre  
Lower Hutt**

**P.O. Box 38-347  
Te Puni Mail Centre  
WELLINGTON**

3 May 2024

## **Feedback on the draft plan – Managing assets.**

To Whom it may concern,

In regard to the gym that our club currently owns and operates at Fraser Park which has been earmarked for demolition, we met with Andrea Blackshaw and Arthur Nelson recently to discuss the possibility of the divesting of the asset to our club, we were told that this could be a possibility for our club if we could meet certain requirements as laid out by the HCC, EG building compliance, earthquake strength etc. We formally requested information from the council on what would be required, via Andrea, who informed us that the assets team at the HCC were working on this, and we would have a response by the end of this week, we still have no response from the council on this matter. In lieu of no response from the HCC we feel we must present our case in the form of this submission in the hope there will be due consideration given to the retention and divesting of the gym and also the south end changing room weights gym.

We would like the opportunity to speak on this submission at the council meeting – Please advise that is possible and what date the meeting will be on.

Our reasons for the gym retention are as follows.

The gym is currently used by our 350 junior members (3yrs – 15yrs) and 150 senior members (youth to masters) on a regular basis during the in season and the off season, we also use this gym for our “Football for All Programme” which seeks to assist families who may be new to this country or may be struggling financially to play football. We run our girls only, NZF approved, Fantails club which gives footballing opportunities to girls from 6yrs to 12 years who have not played football previously.

We have shared this facility over the last three years with numerous sports organisations such as Naenae soccer club (150 members) and more recently with Stokes Valley football club (250 members) Xtreme Hip hop (60-100 members) and Hutt Valley Softball, this gym is used extensively and is a huge factor in allowing us to connect with local community giving people within the Hutt Valley area greater access to football, sport and skills coaching along with the promotion of healthy lifestyles, hydration and nutrition aiding the mental physical wellness of those that need it most in our community and giving the community the opportunity to develop, amongst other things respect and Inclusion, safe participation Initiatives and it also allows our club to drive Increased involvement for and participation in sport and active community activities across all demographics in our local community.

The other matter is around the space which is at the southern end of the gym (also earmarked for demolishing) which between LHCAFC, Avalon Rugby Club and the Wellington Phoenix academy has been repurposed as a weights gym, with weights equipment which was surplus to requirements when the Naenae pool was closed, this has been a great collaboration between the three clubs and is certainly in the spirit of the collaboration that was expected when Fraser Park Sportsville was conceived. This facility is also being used by local college rugby teams and other Fraser Park Sportsville users.

Part of this building is also used for storage for Taita Cricket.

As you can see these two buildings are extensively used by the local community and we cannot see where the current activities will be housed in or around Fraser Park, any thought that the activities and users will be housed at the Ricoh Centre is pure fantasy, as the facility is at capacity, furthermore there is no weights gym, noting that when the founding members clubs agreed to be part of FPS there was supposed to have been a weights gym at the facility.

The demolition of the changing rooms will also result any a severe lack of changing facilities for the grounds users with four rugby pitches and four football pitches, which may have up to three games each on a Saturday there simply won't be enough changing room facilities. Fraser park is the biggest of its kind in the Wellington region and is such an asset to our local community any reduction in amenities at this park, in our opinion, will have detrimental Impact on sport participation in our local community.

I would like to have added more to this submission, but as I say we had been waiting on the council on information regarding the divesting of the assets mentioned, so wanted to leave the submission to the last minute in case we got a response from the council.

Our club would also like to register our support to GBH boxing in their retention of the old Taita Cricket clubrooms, these guys are doing stellar work in the community with our youth, we feel they should be able to continue their work in what is now a safe space for our youth.

Yours Sincerely.

Mike Yates

Treasurer

Lower Hutt City Association Football and Sports Club Inc.

# Lower Hutt City AFC *"Fostering the Development of Our Players"*

P.O. Box 38347 Te Puni Mail Centre, Wellington |



- Clubs community reach- 912 children aged 5-17
- Club Junior Membership- 325
- The club currently runs 17 Junior Teams catering for our 325 junior members from the ages of 6 through to 17.
- We currently work with a number of low decile schools in our local catchment area offering free weekly football coaching and healthy lifestyle sessions and a further four via New Zealand Football in Schools Programme.
- With support from a local business we are promoting healthy lifestyles through both football and fundamental movement skills, hydration and nutrition aiding the mental and physical wellness of those who need it most in our community.
- Potential reach – 5,624 (Excluding intermediate and Secondary) This includes 10 Decile 1 and 2 Level Schools.
- We also operate a highly successful First Kicks programme designed for those aged 4-6 who are getting their first taste of the sport.
- LHCAFC is Involved also in two other community programmes, “The journeys programme” and the “Football for all programme”

## **The Journey's programme.**

The Journey's programme hosts local 10-17 year olds and acts as a new shop-window to local sports clubs.

"We hope to create a new pit stop on the sporting pathway where our young people can develop their confidence and competence prior to formal participation.

Through partnership with local schools, we will work to identify those students that have been excluded from physical activity (for whatever reason) or those that might respond strongly to our project. Those tamariki / rangatahi are then invited, free of charge to the Ricoh Sports centre from 330-5pm, three days a week for a revolving daily menu of co-designed sports offerings led by BGI but supported by the clubs inhabiting Fraser Park Sportville founding member clubs. Transport support from school to the venue will be offered so as to remove the barrier.

Boys and girls institute are engaged as key deliverers as they are an energetic group of young adults, (who we know our tamariki / rangatahi respond to) and they possess youth work skills which is valuable in understanding the contexts that our excluded young people come from and ensuring that the Journeys environment is safe and nurturing.

In many of the communities of our city, the traditional sports-system is either out of the reach of our young people, or just not meeting local needs. The Taita community is one of New Zealand's most underserved- the raft of social and economic problems faced by the area manifest upon its sports organisations and present as challenges of equity to those organisations and individuals"

## **Football For All.**

Football For All, is a community-based diversity project led by Football For The Community Development Trust in association with the Wellington Phoenix, launched in Wellington in 2020.

Football For All is targeted at refugee families and recent immigrants to the Wellington region and is specifically targeted at families and communities where inclusion is especially important. A specific area of focus is the Muslim community following the events of March 2019.

The programme aims to foster inclusivity, participation and well-being by using sport as a vehicle to help our communities particularly from former refugee and migrant communities to interact with our wider community and build on what we are already doing for our Muslim communities.

It also supports youth and their families - who may not otherwise have the opportunity to experience and engage with sport - to attend Wellington Phoenix matches and link with the football family. Wellington Phoenix will oversee the project and use its youth development expertise.

Football For All will 'scholarship' 50 children between the ages of five and 17 from ethnic communities into their local football clubs: the programme will pay club subscriptions, all uniform costs, while the football boots have been generously supplied by Wellington Phoenix's footwear partner, New Balance.

Crucially, the aim is to have these children integrated into existing teams, not create new teams

exclusively from the communities themselves. Community coordinators have been selected in conjunction with local community groups and the local football clubs in association with Capital Football to ensure we are getting the best people with the right skill sets to execute the programme.

The entire programme will be independently reviewed under a University-sponsored analysis to ensure we can maximise any learnings. The project has been built in consultation with local community groups as listed. They are specialists in the area, and much of the decisions making (eg selecting the local community facilitators) will be made by those within the communities themselves. The project will also help these communities rebound from the restrictions of Covid19 and facilitate some return to normal for their youth.

It offers employment for five community leaders to be coordinators. By fully funding participation, local clubs will benefit from the subscriptions and thereby contribute to their infrastructure costs and keeping those facilities operational.

Football For All is facilitated by Football For the Community Development Trust (FCDT), a Charitable Trust set up to facilitate children from recent immigrant and low socio-economic communities so they can participate in the beautiful game. FCDT's primary funding partner is the Lloyd Morrison Trust.

FCDT Chair David Clarke said the project was a joint effort from many different organisations from around Wellington.

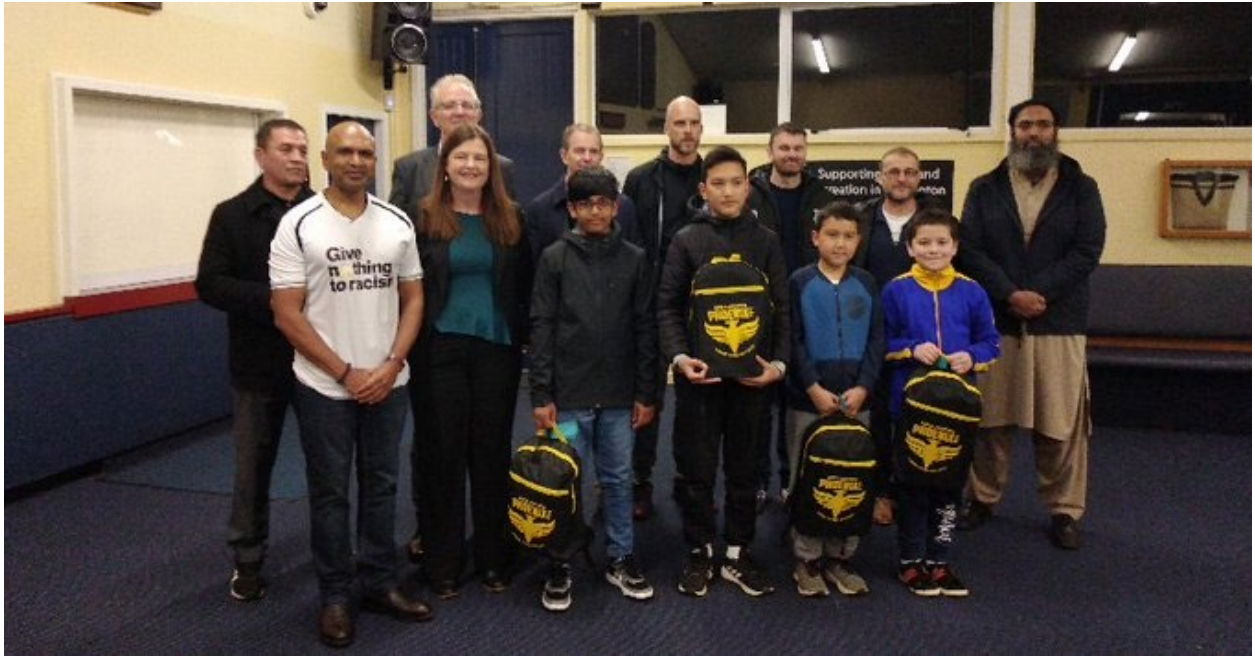
“Football for the Community Development Trust has brought together an amazing group of like-minded groups who want to use football to foster inclusion and diversity in our region.

“The Trustees are extremely grateful to the Lloyd Morrison Trust who is the primary funder and corporate partner New Balance who generously donated the football boots for all the participants.

“We have started with 50 young players this year, but we want to grow this to over 150 in Wellington and then, funding permitting, see how many more young people we can bring into the programme.”

#### **At A Glance**

- Football for All launched on 12 June 2020
- 50 participants aged between 5-17 years
- Local football clubs include Lower Hutt AFC, Stokes Valley, Onslow, North Wellington, Wellington United, Karori, Western Suburbs, Miramar, Seatoun
- Primary funder: Lloyd Morrison Trust. Boot supplier: New Balance NZ. Football club coordination role: Capital Football
- Community organisations involved: Change Makers Refugee Forum, International Muslim Association of New Zealand (overseeing the Wellington regions Mosques), Multicultural Councils of Porirua, Wellington City, Lower Hutt and Upper Hutt, Red Cross New Zealand, Wellington Interfaith Council, Sport Wellington, Ignite Sport, Oranga Tamariki, New Zealand Police, Human Rights Commission and the Wellington region's City Councils





**From:** [Graeme Lyon](#)  
**To:** [haveyoursay](#)  
**Subject:** [EXTERNAL] LTP Petone assets  
**Date:** Wednesday, 1 May 2024 3:16:37 pm

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I live in and use Petone assets.

### **Petone Assets**

The LTP standard submission form options are far too limiting.

#### **1. Grandstand**

Why can't it be opened with a 'use at your own risk' sign. You don't have signs like that at every street kerb which is probably more dangerous.

99% of the time the stand would be unused so the chances of an earthquake at the same time as a game is very small.

Just perhaps remove the roof and use the seats and changing rooms.

#### **2. Library**

Redevelopment proposals and agreement are urgently needed. It is a vital asset but redevelopment should be user friendly not over the top.

A library is essential.

#### **3. Wharf**

It is important to the community, not just Petone residents.

Why not signpost it with 'Use at your own risk - your use of this wharf could be dangerous. KEEP OFF if you want to stay safe'.

Every street kerb, or forest with trees and branches that could fall don't need such signs, why this structure?

I do not agree that it should be demolished.

Repair it as soon as possible. I understand it can be done near to the budgeted cost of demolition, and then budget to maintain it.

Get good costing of options.

I do think that the end part could be reduced by 75% if that is more economical in the long run.

I DO wish to be heard.

Graeme Lyon (Dr)

[REDACTED]  
Petone 5012, N  
[REDACTED]

10 year plan –

Perspective from Graham Mark, House of Atkin.

First, the Long Term plan document is so big that:

- 1) No average person could read and digest it in the consultation timeframe, showing that it is a foregone conclusion and a sham consultation using the LGA perverted definition of “consultation”.
- 2) It is not possible to tell whether the figures in it are legitimate or not without forensic investigation.
- 3) It seems designed to overwhelm rather than engage the public, such that the public will default to its presumptions.

The feedback document is channelling answers down unacceptable options. I have therefore not completed that document, but forwarded this perspective only.

Main thesis:

The starting point is that no one is to be rated (actually, taxed) out of their home.

Consequently, a 16.9% rates increase is simply not acceptable, and the proposed cumulative increase of 167% is simply outrageous.

It appears that every council in NZ is facing the same problem and trying to get the public to buy into excessive rates increases by putting them up against proposed even more excessive rises (“good cop – bad cop” tactic)

This is part of Agenda 2030 – “you will own nothing and be happy”. It is a way of shifting ownership to giant corporations (like Blackrock) so that individuals have no security of shelter – a basic human right, and can be subjected to totalitarian rule.

How can this be avoided, given there is a legacy of aging water infrastructure?

Aging water infrastructure is clearly a one-off major cost. During the 1930s and 1950s NZ used social credit to finance the state housing schemes of those times. This should be used for infrastructure instead of raising loans as interest-bearing debt, or rates on current homeowners to fund future needs, creating unaffordability. As the money is being spent on real assets it can be amortised over the life of the infrastructure without causing inflation. While there is a way councils can do this, realistically it will need central govt. to do it. This also begs the question “Why does the water infrastructure issue exist other than by mismanagement or existence of another agenda?”

Next, stop wasting money on things that are not needed or are harmful:

Withdraw from SMART Cities/15 minute cities organisations and do not spend any money implementing these measures. Hamilton Council has already identified that it is unaffordable long-term.

Do not spend money trying to address “climate change”. Humans are not causing climate change – it is a complete scam. The majority of world climate scientists reject the IPCC scaremongering model.

Stop building cycle lanes until necessary infrastructure is fixed. Cycle lanes are NOT critical infrastructure.

Do not spend money on invasive technology e.g. surveillance cameras everywhere.

Stop creating unnecessary speed bumps on roads, that seem to have grown like mushrooms

Do not make anymore blue areas around footpaths at intersections (as I recently saw in Wainuiomata). We have lived without these for over 100 years – we can live without them now, and a bit longer.

Stop being scammed by paying for unneeded “orange cones”. These are placed too close together and often left out for long periods of time when no work is being done (Top of the Wainui hill is a classic example)

Use local tradespeople for small repairs rather than the bloated costs of large “preferred suppliers – a status that removes competition and leads to inflated charges.

I understand central govt. is imposing unnecessary regulations and compliance costs on councils. This needs to be “outed” so the public know where the problem lies. “Health and safety” has become a cost-creating industry in itself in pursuit of a flawed ideology called “safeism”.

The council needs to push back on these – but the public cannot support the council if it doesn’t know what’s going on. Full disclosure is required.

## Population growth

There is projected population growth, and intensive housing is being built like crazy.

That population growth is not natural/organic. The latest fertility rate is 1.56 – this is population collapse, not growth. So where is the growth coming from, and why?

There is little industry in the Hutt now compared with 50 years ago. Where will these new people work?

Is the population growth all from refugees/unskilled migrants, who will be given preference for housing over NZers and collect benefits while contributing little to our city?

But more relevant to the rates issue, if there are that many more people and that many more houses the rates income base must also increase proportionately, yet there will not be a proportional increase in infrastructure costs – some increase, yes, but not in the same ratio.

So why are rates increasing so much, especially when any new housing development now requires a “development contribution” from property developers?

Before any meaningful consultation on the future of our city can take place the Council needs to build full transparency and accountability into all transactions. There should be no significant spending without community approval, especially when the affordability of living in one’s own home is being put at unacceptable risk.



# Submission on the Hutt City LTP

Contact: Pete Matcham

email: [REDACTED]  
[REDACTED] [REDACTED]

I would like to speak in support of my submission.

## Water Services

### Three waters network

Having been a member of the Whaitua group charged with developing a strategy for water within te awa Kairangi and Wellington South Coast catchments I am well aware of the degraded state of our three water infrastructure. Bringing these up to an acceptable standard and maintaining them there must be the council's top priority. I note that in every public consultation the Whaitua held, public response was unequivocal and succinct "Just fix the effing pipes".

Whilst the financial cost of that may now cause some backtracking, most of those who spoke to us were well aware of the potential cost implications when giving their opinion.

It would be unethical and economic stupidity to further delay this work and I fully support option 2, noting that option 1 does not even keep pace with projected deterioration. We cannot impose the cost of our failure on our mokopuna.

### Drinking water supply

The proposed increase in buffering capacity in the potable water supply by adding new storage lakes is insufficient to meet the increased demand if the city and region continues to grow at current rates. Similarly that the amount of water taken from te awa Kairangi at low flows is already too high to maintain a healthy ecosystem, and that the supply from the aquifer is at potential threat as sea level rise alters the pressure dynamics.

Consequently the introduction of demand management must be given a highest priority. Volumetric charging is clearly the most efficient method of distributing infrastructure costs equitably, and has a proven record of reducing demand by around a third. Water meters, if implemented at the public/private network interface, also provides sufficient granularity to identify and address leaks with the ability to allow costs to lie where they fall. This gives the Council through Wellington Water the ability to enforce speedy repair in the private parts of the network.

The potentially regressive nature of volumetric charging should not be allowed to stall the installation process; noting that ample examples of charging models exist that address this issue.

Option 2 in the Consultation booklet should be the basis for future policy.

## Waste collection services

I fully support the introduction of a separate green and organic waste collection, but consider the standard user charge approach regressive. The idea of charging people extra to achieve a socially desirable outcome is also counter-productive. The cost of the service needs to be structured in a way that provides a financial incentive for people to use it. Little detail is given of the 'processing solution' either in terms of cost recovery from the sale of any end product or how this will reduce rather than delay the contribution of food waste emissions. The status quo should be maintained until these issues can be addressed.

## Rates relief for low income households

Whilst well meaning, this initiative is badly thought out and poorly targeted. It does not address the plight of those most in need: those on fixed or low income who rent. Further, it imposes an additional cost on this cohort, since landlords will inevitably pass on any rates increase directly to tenants. Home owners with low income fixed incomes already have two mechanisms to alleviate the cost of rates, rates rebate and rates deferral, neither of which are available to renters. To introduce this measure would further increase inequality. It should not proceed.

## Petone assets

Libraries are a keystone public asset that are constantly evolving to meet the needs of the community. We therefore support the redevelopment of the Petone Library as a multi purpose facility.

## Housing development

The development of 3500 new homes as part of the IAF funding initiative, should be on brownfield and inner city intensification sites to prevent further sprawl. Where green field growth is considered, whole of system costs, including improved transport and water infrastructure costs need to be internalised to ensure these developments contribute equitably.

## Infrastructure management

The cross valley link provides greater resilience in the face of sea level rise, and the consequent ability to develop and promote Petone foreshore and esplanade as a regional recreation destination. I support this policy and expenditure

I fully support the investment in cycleway and micro mobility programmes, and note that the most important objective is a fully connected network with physical separation from vehicular traffic which will require re-allocation of space in the road corridor. A move that is long overdue.

For that reason the 'subdivision roading improvements' should be targeted at active mode and PT access not the encouragement of more vehicular traffic.

## Finances

I consider that the council move to a far more rigorous application of user pays for road users, so far as it is within their ability.

## Development contribution policy

Whilst I support the policy that developers of new housing units should meet the cost of all downstream impacts on infrastructure, I am concerned that

- a) These do not create a perverse incentive that favours 'one off' house development on cross leases as in the past, rather than full site or multiple site development. Not only would this lead to inefficient land use, but indirectly helps perpetuate inefficient and costly housing stock and transport infrastructure.
- b) That it does not become a barrier to the supply of land for housing, exacerbating the boom / bust cycle that bedevils housing development in NZ

I fully support the surcharge on developments with more than four bedrooms, and would suggest this be increased.

## Fees and charges

I fully support the increase in parking fees and the extension of parking charges to Jackson St and Britannia St car park. However the proposed charges are too low to provide an effective deterrent, and fall far short of the true economic cost. The public purse should not be called on to subsidise the temporary storage of private goods.

In addition all angled parking should be removed to improve safety and to free up road space for protected cycle lanes and, within Jackson St and the CBD, pedestrianisation. As noted in the consultation document, parking fees should be used to improve pedestrian and active mode access at the expense of private vehicles.

## Silverstream landfill.

I am concerned that as with the proposed green waste collection, the way in which these charges are being implemented create barriers to responsible behaviour rather than encouraging it. At the least, any charging should exclude any items have been diverted for re-use and recycling. Otherwise there is no incentive to minimise waste.

-----Original Message-----

From: [REDACTED] <[REDACTED]>

Sent: Saturday, March 23, 2024 10:02 AM

To: haveyoursay <haveyoursay@huttcity.govt.nz>

Subject: [EXTERNAL] Water Meters.Rate hikes for elderly.

I am greatly opposed to water meters being installed in Lower Hutt.

I already pay extremely high rates (for a single person living alone) just to be able to stay in my beloved family home and aged 85 I do not want to move.

If there is no alternative for water meters to be installed I would hope that a reduction in water rates would be in line with councils plans.

Yours Truly.Sheila McPherson.



**Submission attachment from Transition Towns Lower Hutt**  
**Contact Marian Melhuish [REDACTED], [REDACTED]**

**Reserves Investment Strategy**

Transition Towns Lower Hutt (TTLH) took part in LHCC's 2021 consultation on its Climate Action Pathway, and is now working with others to further the actions identified through the Pathways hui. One hui was about the 15-minute city concept, and proposed Wainuiomata as an eco-suburb focussed on its natural environment and its compact nature enabling efficient travel.

Star Olsen, then chairman of the Wainuiomata Marae, spoke up in the session, describing the playground they plan for the Marae, which would connect kohanga reo children and rangitahi with the stories of their ancestors and how they valued and cared for the native bush.

TTLH has followed this up and intends to create a "tiny forest" on the land co-administered by the Marae, Te AtiAwa and LHCC, adjacent to the hillside above the marae. We would use the Miyawaki Method, which plants 3 saplings of native trees and shrubs per square meter into carefully prepared soil, dug out and amended with straw, wood chip and manure. The close packing makes the trees grow very tall quickly, up to 2m per year or even higher. Both roots and branches interlock making the forest extremely stable to windthrow, flood, and even tsunami. No maintenance is needed after 2-3 years' weeding.

The eventual size of a tiny forest is typically a mere 250 m<sup>2</sup>, but it can be as small as 80 m<sup>2</sup> or even smaller and still retain the characteristics of a true forest, attracting the birds, insects, lizards and skinks and all the forest soil fauna native to the climate and soil of the district. It would contain typically 30-60 different species of tree, shrub, herbaceous plants, ferns, mosses etc, sourced in our case at no cost from Forest & Bird's native plant nursery in Wainuiomata. It can be expanded as funds and people power become available. It is possible that we could make use of surplus topsoil that typically comes from urban subdivision.

The Wainuiomata forest – a ngahere korowai - could be reproduced in many areas across the Hutt Valley, including (most appropriately) on or near the grounds of a kohanga reo and/ or Early Childhood Centre. It fits within your classification "Natural Open Space Zone", yet is not on the urban periphery, where the neediest of our residents and their whanau have neither the time nor the transport to access existing natural open space zones.

Ngahere korowai in the city environment will serve a plethora of purposes:

- Education – so children (and their carers) learn the native plants of our region, and the stories they tell;
- Cooling – trees cool the climate, the more so as their canopy contains multiple layers;
- Storm water retention – as their soil becomes deep, occupied by roots, worms, insects, burrowing things;
- Filter out air pollution through their extensive multi-layered canopy
- Rescue – of native plants now being browsed to extinction in the adjacent Hutt hills: seed source for nurseries.
- Health – it is now recognised that people, especially in their first thousand days, benefit from direct exposure to the microbes found in the natural environment.

**From:** [Sally-ann](#)  
**To:** [haveyoursay](#)  
**Cc:** [Sally-ann Moffat](#)  
**Subject:** [EXTERNAL] 2024 -2034 10 Year Plan Feedback  
**Date:** Friday, 3 May 2024 4:51:53 pm

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Kia Ora

I am submitting my 2024 - 2034 Long Term Plan Feedback in an email as I am concerned that the wording used in the survey provides an unwanted bias through leading questions, limited options for answers and 'choices' that offer the same outcome.

Before I begin my feedback I'd like to say thankyou to everyone doing the mahi of gathering the feedback. I appreciate the opportunity to 'Have My Say'.

Firstly, the Survey itself. I request that surveys in the future offer open ended questions to be able to elicit neutral responses. I would like HCC to not indicate in surveys which option they prefer. This is leading the end user.

**Petone Wharf:**

I support the prioritisation, the restoration and protection of the Petone Wharf as a heritage asset of benefit to all New Zealanders. I do not support its demolition.

**Petone Parking:**

I support free parking to continue in Petone. I do not support paid parking in Petone in any form.

**Petone Library:**

I do not wish to see the Petone Library significantly altered. Simply made fit for purpose. Petone already has a heart/a city centre, and the less that HCC interferes with the current layout and footprint of Petone the better. It is one of the most successful suburbs in its current state.

**Managing Our (Community) Assets:**

I request that our community houses and community spaces (true Community assets) continue as they currently do with financial support from Council: Leases not to be increased but remain 100% forgiven, rents not to be increased, Governance to be community-led. Centres to be run individually by the community and for the community that they are part of.

I request that Community Houses and spaces are recognised as true community assets judged for their true value: being of benefit and of service to the community, not by their limited ability to generate an income.

I request that Community House & venue lease agreements are to remain (or be extended to) for 36 months.

I request that lease agreements for our Community Houses and spaces to require 12 months' notice in writing for any changes to the lease agreement by Council.

I request that our Community houses and community spaces with their land attached to them to remain as community assets so it can be used and enjoyed by the community it belongs to.

If any of the above is to be altered in any way, full and meaningful engagement with the affected community is a necessity.

I wish to speak to this submission.

Please reply with receipt of this email.

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Nga mihi,

Sally-ann Moffat

**From:** [Johannes Mueller-Welschhof](#)  
**To:** [haveyoursay](#)  
**Subject:** [EXTERNAL] Creative Events in Lower Hutt  
**Date:** Thursday, 2 May 2024 11:31:19 pm

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Hello to the Hutt City Council,

I'd like to take the opportunity to offer some thoughts on the creative communities, the artists, art groups and creative initiatives in Lower Hutt.

There is a multitude of very talented, engaged and committed people in our region doing amazing work in that field, not only in creating works of art in all kind of disciplines, but also as volunteers behind the scenes - planning, facilitating, tutoring, fundraising, organizing art events. All of that adds a lot of value and attractiveness to what Lower Hutt is about and certainly deserves support.

The last years have significant cultural/art events, that used to be facilitated by the council, disappear - like the Hutt Winter Festival and the Festival of Lights (now in Upper Hutt). The local creatives are working hard to set up new regular events to fill these gaps. As an example - the Muriel Hopper Award - running now in it's 9th year - organised and financed by the Hutt Art Society.

Another one to become a fixture in the cultural calendar of Lower Hutt could and hopefully will be the Lower Hutt Art Trail, which is scheduled to happen for the first this October.

It will combine CBD-focused concepts HCC did facilitate twice 10/11 years back with an "Open Studio" trail idea, that has been running very successfully in various regions in NZ for many years. The inaugural Upper Hutt Art Trail - run by the Council - attracted more than 3500 visitors last October.

Our own Art Trail certainly is overdue and a grassroots network of local creatives is very busy making it happen by volunteering many hours and collaborating with the local stakeholders and also the business community.

Upper Hutt got the Art Trail going, as it was written down as task in the Council's long term plan to facilitate/support a project like this.

Even in the light of the difficult financial situation Hutt City Council is facing, an expression of commitment to support ( financial/organisational ) in the coming long term plan would be crucial to establish the LHAT project and keep it going.

The help and support from the mayor, councilors and council staff, that the facilitating team is experiencing in the current trail preparation period, is very much appreciated.

For the event happening in coming years the Lower Hutt Art Trail more of that is needed - maybe in the shape of a small initial budget and someone at the council as main contact, helping to coordinate in between departments, what the council would be able to contribute.

Thank you for your time.



Johannes Mueller-Welschhof

**From:** ozkiwis@slingshot.co.nz <[REDACTED]> z>

**Sent:** Friday, March 8, 2024 1:16 PM

**To:** haveyoursay <haveyoursay@huttcity.govt.nz>

**Subject:** [EXTERNAL] LTP

Having just read in the latest The Hutt News 7/3/2024 the article by Tony Sallinger asking the question would you support a proposal in rate charges by \$100 per week all within the next 10 years.

Not bloody Likely .

In the same article salaries and other staff costs rise by 18% whereas the NZ pension hasn't but our costs insurance etc have considerably we are now asset rich and money poor.

When are you going to stop bleeding us dry and spend the money on things that historically councils have spent eg rubbish collection paths parks not social housing and welfare programs that is Governments concern.

Lastly the people who have their say on the draft consultation should only be Rate Payers not residents as we are the ones who have to shell out .

Clive Norman



**LONG TERM PLAN SUBMISSION  
HUTT CITY COUNCIL**

To Hutt City Council

Thank you for the opportunity to provide feedback on your draft Long-term Plan 2024 – 2034.

Nuku Ora<sup>1</sup> acknowledges your Council as an important strategic partner as we look to activate the region through play, active recreation, sport, and active transport. Your investment in the infrastructure that supports physical activity in all four domains is recognised and appreciated. Beyond investment in infrastructure, the work of your staff to activate spaces and engage communities creates immense value in supporting physical activity.

Our interest in your plan is around ensuring that all people in your district are able to access quality physical activity opportunities, that there are safe and accessible spaces and places that support participation, and the preservation of these as the effects of climate change intensify.

We acknowledge the challenges that your council faces in light of the current economic environment and the need to ensure that water is managed effectively while also balancing costs associated with responding to the wide range of needs and expectations of your communities.

We note the progress of key projects, in particular Tupu Hora Nuku and the Naenae Pool and Fitness Centre.

We are keen to talk with you about our submission and where we may be able to work effectively together in the future.

Andrew Leslie  
Chief Executive



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<sup>1</sup> Nuku Ora is a concept that represents activity, movement, life, and joy. It encompasses the outcomes that we want to achieve in our region and reflects our vision of “Hauora. Everyone active, healthy and happy.”

## About Nuku Ora

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Nuku Ora is a charitable trust charged with providing leadership and support to the regional physical activity system – the collection of people, organisations and resources that encourage and support people to be physically active.

We do this because of the tremendous value that can come from being regularly active, from the well-documented physical and mental health benefits along with the contribution it makes to social and personal development, the community development opportunity that comes from the shared experiences of activity, and the environmental value created through increased awareness of the importance of spaces and places that support participation.

Our strategy is focused on community Hauora and wellbeing as the long-term outcomes of our work and on ensuring equity of access to physical activity opportunities for everyone. Our strategic priorities for the next four-year period. These are outlined in the table below.

Strategic Priorities 2024-2028		
1.	Quality opportunities and experiences	Increasing participation in physical activity across the life course, through equitable and inclusive access to appropriate places, spaces, and services.
2.	Empowered communities	Creating positive change through working in and with communities, putting their interests, desires and needs first and identifying where play, active recreation and sport can play a positive role in their development.
3.	A robust and responsive regional physical activity system	Enabling a fit for the future, whole of system approach to addressing physical inactivity through collaborative actions and responding to change, including proactively responding to climate change.
4.	Nuku Ora, a Te Tiriti honouring organisation	Working in partnership with Māori and developing our cultural capability to deliver on our individual, community, whānau and system priorities and honour Te Tiriti.
5.	Nuku Ora is sustainable	Continuing to evolve our organisation so it remains a great place to work and is financially, operationally, and environmentally sustainable.

Similar to your Council our operating environment is changing continually. This constant change highlights our need to be flexible and tactically agile in order to remain relevant to our communities and be able to respond to their needs. The current economic and social conditions that we are all working in also highlight the need for greater cohesion through working collectively more often and more effectively.

Nuku Ora partners with Te Atiawa to deliver Sport NZ's He Oranga Poutama (HOP) initiative. (Ngāti Toa is the third party in the agreement). HOP is focused on developing, promoting, and implementing physical activities in a way that is culturally appropriate to Māori. In addition, Te Atiawa is represented on Nuku Ora's Board.

Our kaimahi have been actively supporting Te Atiawa including through an Iwi requested staff secondment, to implement system changes to better serve their communities in sport, health, and education. Work in this area has included supporting the Hawaiki Hou Tane Ora project, governance and operational changes of Te Aroha Hutt Valley Association, and the signing and operationalising of the Healthy Families contract.



### *Our work with Hutt City Council (HCC) and in Hutt City*

Nuku Ora has a strong presence in Hutt City through various programmes of work. We have active engagement with HCC staff in areas such as spaces and places, play, and community development. On the back of our two regional facility reports for sports fields and indoor court provision, we have been able to support HCC staff with planning and advocacy to effect changes in provision specifically the decisions around investing in sport and recreation and upgrade programmes.

We actively support Hutt City primary and intermediate schools through the Healthy, Active Learning initiative, along with our Green Prescription programme (which utilises local facilities) and Strength and Balance work with older adults. Through our geographical priority communities work we have established key relationships with community providers in Stokes Valley and Naenae and Wainuiomata.

Recently Nuku Ora has developed a working relationship with Kainga Ora with the intent of exploring ways to activate the places and the people living in Kainga Ora housing across the region.

### *We have facilitated investment in Hutt City*

- Tu Manawa Active Aotearoa Investment (TMAA)
  - TMAA is a Sport NZ fund that Nuku Ora manages and distributes regionally to help remove barriers to participation.
  - Since 2021 we have invested **\$910,798** in support of activities in Hutt City. These activities have been focused on participation in play, active recreation, and sport.
- On the back of our community-led approach we received funding from NZCT (around **\$100,000**) for physical activity in Hutt City to support projects focused on removing barriers to participation. This project is in the early stages of being rolled out, but we hope to develop it further.

### **Nuku Ora feedback on your long-term plan**

As noted earlier, we have focused our feedback on matters in the long-term plan that involve or impact the activation of the community.

#### *Petone assets*

Our specific focus here is on the proposed approach to Petone Rec Grandstand and to this end we are supportive of the approach outlined in Option 1.

Feedback received from sector organisations through the development of the Regional Sports Field Report stresses the importance of having quality amenities alongside sports fields, particularly toilets and changing rooms that are fit-for-purpose, cater for all genders and are accessible for everyone, especially those who are disabled.

We also recognise that across the region there is a need to rationalise or modify existing facilities while maintaining their function in some way to service the needs of users. The approach outlined in Options 1 will do this.

#### *Infrastructure projects*

Nuku Ora remains supportive of the Riverlink project and the proposed development of a cycleway and micro-mobility network. Both projects facilitate active transport which is a great way to activate

communities through integrating physical activity into everyday living. When such networks are connected to the places where people live, work, and play, they are more likely to be used by the community. Supporting active modes of transport is also a means to reducing carbon emissions and therefore plays a part in a strategy to respond and adapt to the effects of climate change.

### **Future opportunities for partnering**

#### *Play development*

Nuku Ora acknowledges the work that HCC has undertaken to provide opportunities for tamariki to enjoy play across your city. HCC is represented on the Regional Play Network which aims to collectively develop play regionally through knowledge sharing and planning for play across the region. This network has grown over the last three years from a few engaged Councils to all eight being involved and engaged in regular conversation alongside Kainga Ora, YCentral, BGI, Tū Matou Ora, He Puawai Trust, dSport, Walter Nash Park, GWRC, and Nuku Ora's Healthy Active Learning, Green Prescription, and Spaces and Places teams.

#### *Spaces and Places*

HCC is represented on the Regional Spaces and Places Steering Group which provides input and oversight on facility development regionally. The steering group has proven itself to be an effective mechanism for aligning processes and keeping all councils sitting around the table informed of the regional work underway and discussing issues associated with owning and managing community facilities. Nuku Ora facilitates this work and is looking forward to your council's continued engagement in this work. Our work programme moving forward involves a review of the current Regional Spaces and Places Strategy and the expansion of the focus of this work to active recreation, play, as well as sport.

#### *Youth development*

Our youth development focus through active recreation is the basis of several of the relationships we have developed in Hutt City. We are keen to encourage and support rangatahi to participate in active recreation and recognise the council's role in providing access to blue and green space and facilities. We are currently having conversations with councils around youth audits to create youth friendly spaces and places in the region and see this as an opportunity to work collectively.

#### *Climate change adaptation and response*

Nuku Ora is taking steps to becoming a more sustainable organisation. We will be developing an approach to working with our networks of sport and recreation providers to support them to consider ways to become more sustainable. We believe there is an opportunity for our organisations to work collaboratively to achieve climate change outcomes.

### **Funding request**

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Nuku Ora has benefitted greatly from HCC's investment in Nuku Ora (\$20,000 p.a. plus GST over three years) to support the Spaces and Places Advisor role. Through having this role in place, we have been able to complete two regional reports on the provision of sports fields and indoor courts facilities across the region which make recommendations about maximising these spaces in the future. These reports are being used by Councils to make facility decisions. HCC officers have used information in these reports to make decisions relating to sports field management. *"Nuku Ora's Regional Sports Fields Report and Regional Indoor Courts Report have been a valuable resource for*

*HCC in its work to review how it invests in sport and recreation. The Sport Fields report informed a \$10M programme of investment in drainage for the city's sports fields as part of the LTP 2024/34."*

Your investment in this role has also allowed us to establish a Regional Spaces and Places steering group, be involved in advocacy for specific facility projects regionally, and to advocate for the use of active and inclusive design principles. We have initiated quarterly forums with the Ministry of Education (MoE), Sport NZ, and our local councils to support school community facility partnerships, and developed tools and processes to standardise processes and make decision making easier.

A key part of this role involves liaising with codes, community groups, and schools in Hutt City to help manage their facility demands and connect in an appropriate way with the Council. We have also supported internal collaboration between different HCC business units to align their spaces and places approaches to play, sport, and active recreation.

We are asking for the continuation of this investment for another three years as we look to review the current Regional Spaces and Places Strategy and expand the focus of this work across play and active recreation, tracks and trails and how these spaces and places are developed and used sustainably. This includes working alongside council staff with communities to understand their spaces and places needs that can inform council planning and decision-making.

We welcome an opportunity to talk further with you on all these matters.

Nga mihi  
Andrew Leslie

## Additional information

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### ***The social and economic value of sport and active recreation***

Sport NZ has recently published updated information about the social and economic impact of sport and active recreation that quantifies the social and economic impact of community sport and physical activity.

While the information is not broken down per region, it does provide a platform for:

- advocating for the benefits of play, active recreation, and sport
- demonstrating the return for investment into the play, active recreation, and the sport system
- future decision-making.

**The report also identifies that for every \$1 invested in community sport and active recreation, \$2.12 worth of social impact was created for individuals and society.**

As an overall finding, the research revealed that the combined social and economic value of taking part (participating and volunteering) in community sport and physical activity in Aotearoa New Zealand in 2019 was \$20.8 billion.

This can be further broken down to show:

Social value generated:

- \$9.02 billion - physical health
- \$3.09 billion – volunteering
- \$1.13 billion – social capital (social trust, belonging, community engagement)
- \$3.32 billion – subjective wellbeing (individual life satisfaction)
- \$0.889 billion – income consumption and wealth
- - \$0.602 billion – individual safety (injuries and accidents)

Economic value generated:

- \$3.96 billion – sport and active recreation-related economic activity

*(Source: The combined value of sport and active recreation in Aotearoa New Zealand. March 2024)*

### ***Challenges facing physical activity providers***

As with other sectors and communities, physical activity providers are facing increased pressure as a result of cost-of-living increases across their operations. These impacts include a more challenging funding environment where traditional funding sources are either no longer available or have been severely reduced while demand for these funds remains high creating a competitive environment for securing funding. According to a recently released Sport NZ report<sup>2</sup> on funding of sport, play and active recreation, the sector overall has become more reliant on government funding and class 4 revenues over time as membership, participation, sponsorship, and commercial revenues have declined.

The predominant source of income for local clubs is through membership and participation fees and subscriptions. As participation costs increase, many providers are experiencing reduced rates of participation as consumers make choices about how they prioritise the use of their financial

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<sup>2</sup> Funding of the New Zealand Sport, Play, and Active Recreation Sector Source: <https://sportnz.org.nz/resources/funding-our-play-active-recreation-and-sport-sector-an-analysis/>

resources. The range of costs associated with participation (other than fees and subscriptions) include uniform and equipment costs, and travel and transport costs. For providers, the costs of accessing spaces and places, the challenges associated with climate change and availability of those spaces, and administration costs are challenging the way in which they operate.

Providers are also increasingly challenged by the expectation to respond to social requirements around equity and catering for diverse groups within our communities, responding more specifically to the needs and interest of local communities and participants, and responding effectively to climate change.

**From:** Sunshineclaudia patel <[REDACTED]>

**Sent:** Tuesday, April 16, 2024 9:59 PM

**To:** haveyoursay <haveyoursay@huttcity.govt.nz>

**Subject:** [EXTERNAL] 10 year Plan

Hello there,

I strongly disagree with the proposed increases and introduction of costs for parking in Petone.

As a resident of Petone, I believe this will likely deter people from visiting and further burden local businesses.

I firmly oppose the implementation of paid parking in Petone! The cost of living is already challenging, and further financial strain is unwelcome.

Thank you,  
Sunshine

**From:** [Jeremy Peck](#)  
**To:** [haveyoursay](#)  
**Subject:** [EXTERNAL] 10 Year Plan  
**Date:** Friday, 3 May 2024 3:22:00 pm

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Tēnā koe,

Thank you for the opportunity to comment.

I have had a look through your 10 year plan, and, while I understand there are many priorities you need to balance, I have real concern at how your survey is geared towards your preferred options and does not give clear ability for a submitter to make a choice that suits them.

ie.

Water meters

I do not agree with the install of water meters under the current plan as there is no understanding of how it will affect costs of water use, when and how much (which looking at Auckland examples it inevitably will) and this will likely increase the cost of water use for all families including low water users significantly over time. Neither of the options given offer the refusal to install water meters at this stage, nor any detail as to how it would work. Also, this only talks to residential users, it would be good to understand how commercial and industrial users are and will be charged.

Finally, before any investment goes into ideas such as water meters, the council should first fix the infrastructure.

Green waste

I don't disagree with having a green waste bin BUT there need to be benefits to those who resultantly do not have much landfill waste. Green waste collection and landfill (red bin) should be weekly but on a scan bin barcode pay as you go basis. Many people like us are diligent recyclers, and compost our food scraps so would only rarely need the green and red bins - incentivise good behaviour and you will reduce your landfill problem!

Petone Wharf

I do not agree with the removal of Petone Wharf as this is a key amenity asset for an ever growing community. The wharf provides a huge amenity to the area and before its closure was always well used. There are costs in removal; why not look at the most affordable way to restore it safely rather than the inevitable over-engineering that often occurs to ensure compliance with ever increasing structural standards. Check the tolerances that engineers have allowed for and the resultant increase in material requirements and optimisation if possible. Look at inviting the community to or local companies to fund elements such as painting or seating or new top surfacing. Give real options! Again the restoration has been taken off as an option after having been promised for reconsideration in the plan - and that method of surveying the public is very disingenuous.

Developments: Subdivision Roading improvements / Development contributions

Developers should pay the full cost of ALL elements related to the development. By adding to the current infrastructure, they are burdening the system and need to accordingly

pay their part towards the increase in capacity - be it roads, sewerage, recreation, schooling, other infrastructure etc. I imagine the council's priority is new construction, more and more so that there will be more ratepayers going forward, but the system needs to be able to cater for it and those who create that increase need to contribute accordingly. As an important aside: real consideration needs to be given to how new developments fit within communities and not only working to the current blanket allowance for developments to occur anywhere, at significant scale with no real world assessments and mitigation of the impacts they cause. If we want this city to develop into a wonderful place, we need to implement design guides that follow a clear urban design vision.

### Roading developments

Honestly, with all the other things going on, roading investments are not going to make the Hutt Valley a better place to live. I would prefer the money be spent on things that improve peoples' health and wellbeing, such as the shared pathways, recreation and reserves, libraries, pools - those sorts of things. that uplift us all.

### Amenities

So yes to Petone Library, Naenae Pool, Shared Coastal Pathway, I'm not so worried about Grandstand seating on recreation grounds but am keen to see all recreation grounds being well maintained and increased where possible.

### Water Infrastructure Investment

Just do it properly. It costs what it costs, and if you fix the pipes properly, we may find the water shortages are more manageable without the need to meter everyone.

### Rates remission

I don't have an issue with this in principle but there needs to be a clear understanding of how this would be implemented so that people in real need benefit rather than those that know how to play the system.

### Parking Fees

I am not keen on integrating parking fees in Petone but happy for strict enforcement on parking times in commercial areas. Only minor gains are to be had for parking fees in Petone and it is a major nuisance having to deal with parking meters. Perhaps if you do do this, but directly use those funds to save the wharf, then Petone residents might not be so irritated? The proposed implementation of metered parking also risks pushing retail parking further into residential areas (some of which are already highly congested) and discouraging "high street" shopping as users prefer the easier option of big box retail free parking (take Queensgate and the impact on High Street and Queens Drive as an example). Furthermore, as metered parking acts as a discouragement to using car parks, the revenues gained may not be as much as forecast. Think also, if you are encouraging a move away from car use and parking generally for the environment reasons, I would like to see more well placed cycle parks.

Other than that, all the best, and thanks for reading my feedback outside of your rigid survey form.

Ngā mihi nui,  
Jeremy Peck





# **Submission of the Petone Community Board on the Hutt City Draft Long Term Plan 2024 - 2034**

## **General comment**

Thank you for the opportunity to comment on the proposed draft long term plan (LTP). This submission has been jointly prepared by members of the Petone Community Board (PCB).

This plan will have a lasting impact on the physical amenities, commercial and retail activity, community wellbeing, environment and recreation assets of the Petone Community Board area for some time, and certainly in one document.

PCB gathered the views and feedback of the community through its own and wider meetings, drop in sessions, talking with individual residents, business owners, visitors using local facilities, holding a stand at the Petone Rotary Fair and monitoring feedback via social media.

The draft LTP highlights three Petone issues for decisions; the wharf, library and grandstand while the proposed adoption of paid parking in Jackson Street and the Peel Place car park has also naturally become a flashpoint for public feedback.

The comparatively small budget for the wharf, library and grandstand highlighted for us, a historical lack of investment and maintenance of community facilities in Petone. Expecting urgent maintenance of these three facilities to be considered as a trade off against each other put Petone at a disadvantage compared to parts of the city where there has been major Council investment in recent years. We acknowledge this is largely the result of decisions made in previous terms of Council's elected representatives. But this can be addressed in this LTP.

PCB also wants to highlight the binary options for each facility limited community input and were not in our view the options that should have proceeded to public consultation. The ability to suggest other options was not clear and has led to considerable confusion. As a result we have spent much time explaining to the public that they do not have to choose one or other, and can write in whatever they like. Many have commented that the options are too leading and slanted towards a preferred outcome.

After listening to a wide range of opinions the PCB would like to comment on these key issues for Petone and the wider Board area:

## **Petone Wharf**

The PCB acknowledges the strong public feedback on the wharf and supports as our preferred option the exploration of alternative solutions to demolition. The expenditure of \$6 million to demolish and forever lose the wharf was seen as a poor use of funds when alternative options at a similar cost have been proposed and are yet to be properly explored.

We would like to see good process carried out, which includes full and detailed information on all feasible options rather than the incomplete data, so that a thoroughly balanced decision can be reached. This would include an analysis of costs and benefits of options including wider benefits of retaining the wharf as a regional attraction and supporting wider economic activity in Petone.

*Recommendation: That no work to progress demolition of the wharf is undertaken at this time. Instead the option of repair at a similar cost to demolition is fully explored and progressed if it is confirmed as a viable alternative with a similar cost to demolition.*

### **Petone Library**

Petone Library is a highly valued community facility. Retention of current library services is important to many. Feedback on the library options showed that people would like to see the library and associated space 'improved and enhanced', however what this looks like is different to different people. Many people are not after a 'grand' building but one that allows for current activities to continue, and more usable spaces within the facility.

The phrase "in partnership" was confusing or a red signal for many. The community already made its views clear on not supporting intensive development on this site when this was last proposed, this was reiterated in more recent community feedback.

A redesigned Britannia Street frontage that provides facilities that complement and do not detract or compete with the Petone Community House and Petone Depot was highlighted by many people.

*Recommendation: That Petone Library and associated spaces be redeveloped once and well with adequate funding and with effective community input, for now and into the future, that is allowing up to \$10 million for this project and working closely with the community to develop the scope of work ensuring a library and other community spaces that will be resilient, flexible and still provide core services well into the future.*

### **Petone Grandstand**

The Petone Grandstand is yet another Petone asset which holds significance to a wider audience than many would be aware of, and we received engagement from a wide variety of people and groups who use and value it.

PCB would like to see the option of partnerships between local sports clubs, businesses and Council to retain and enhance the grandstand explored. The Bell Park/Ignite Sports redevelopment is a great example of what can be achieved through collaboration.

There was support for removal of the current roof with seating and some shelter through a lighter weight roof favoured by many uses of this facility.

*Recommendation: That seating and a light weight roof is retained as part of making the grandstand compliant with earthquake standards.*

### **Paid Parking in Petone**

Parking in Petone has its own 'ecosystem' as it holds the tension between its popularity as a destination, alongside residents and those who access their local services. Any significant changes are likely to have significant knock-on effects.

Introducing paid parking in Petone was strongly rejected by most of those we engaged with. We believe there has been inconsistency in what areas in Petone, and indeed the wider city, the extension to paid parking will be applied to. There were also questions in regards to the hours of paid parking, as well as the main purpose of this proposed change, particularly if the focus is on raising revenue. It raises issues of equity and the impact on businesses, employment and free access for those who drive to the library.

#### *Recommendations:*

*That paid parking in Petone is not introduced at this time. Instead a city wide review and consideration of parking to ensure consistency, including the treatment of suburbs is undertaken.*

*That if Council disregards the recommendation not to proceed with paid parking in Petone that free parking is retained for library users using the Peel Place car park and the parking on the other side of the library and the amount of, and length of time, free disability parking is available in Petone is increased.*

### **Cross Valley Connection**

The Cross Valley Connection will have a significant impact on the wider PCB area. It is vital from our perspective that there is strong and effective community engagement as this project progresses.

We are not sure why council is budgeting for \$188.8 million for this project when government documents state all roads of national significance (which includes this road - [Roads of National Significance | NZ Transport Agency Waka Kotahi \(nzta.govt.nz\)](#)) will be highways ([GPS 2024: 15 new Roads of National Significance | Beehive.govt.nz](#)) and state highways are fully funded by central government through the National Land Transport Fund.

*Recommendation: Any funding available to be redeployed as a result of clarifying whether central government will fully fund the Cross Valley Connection should include a boost to funding for facilities in Petone.*

## **Water Services & Seaview Treatment Plant**

We commend the Council for making investment to improve water services. Improvements to the Seaview treatment plant are welcomed and the renewal work in other areas is essential. Seaview and other nearby parts of our area have been disproportionately impacted by the odour issues associated with this plant. This issue must be addressed.

Coordinated planning of the work related to the Petone collecting sewer and Jackson Street pipe work is important. This includes improved communication with the community particularly by Wellington Water.

Residents of Moerā raised concerns about the repeated flooding of the footpath outside the Moerā shops (mainly linked to the drain near Blue Island Seafoods). Drainage in this area needs improving.

### *Recommendations:*

*That investment in the Seaview water treatment plant to reduce odours and overflows is a priority.*

*That Council works with Wellington Water to improve the storm water drainage by the Moerā shops.*

## **Conclusion**

The PCB appreciates the difficult environment facing the Council in determining the LTP for 2024 - 2034. It is important that community facilities in Petone are upgraded through appropriate investment allowed for in this plan. This includes:

- thoroughly testing cost effective alternatives to demolition of Petone wharf
- a Petone library fit for purpose well into the future
- a Petone Recreation Ground grandstand that continues to provide seating
- that any expansion of paid parking operates fairly across the city without singling out Petone as the only suburban centre with paid parking.

We wish to speak to our submission.

Nga mihi

Mike Fisher  
Chair Petone Community Board



## Petone Community House

[REDACTED], Petone 5012

Phone: [REDACTED]

Email: [REDACTED]



Tēnā koutou Hutt City Council elected members and staff,

We (Petone Community House Inc) welcome the opportunity to feedback on the Long-Term Plan 2024-2034, in particular the proposed changes to how assets are managed.

On page 10 of the Long-Term consultation document Hutt City Council states: “We’re proposing increases to leases, licenses and hire fees in line with our Revenue and Financing Policy to ensure they reflect the true cost of assets and strike a fair balance for users and non- users”

We are concerned about increases to leases for Community Houses.

Currently Hutt City Council (HCC) forgives our rent of \$15,340 pa “in recognition of the services provided to the community by the Tenant”. As a 100% community-led incorporated society we rely on HCC forgiving our rent. This allows us to provide an affordable and accessible space for all members of our community.

Petone Community House is a vital community space, which supports on average 24,000 people each year. Our Petone Community House whānau provide essential healing and learning services and the House itself provides a safe and comfortable space for these services. We have over 50 regular rōpū, and an average of 150 bookings per month. Some of our regular House whānau include:

- Citizens Advice Bureau – providing free community advice.
- Recreate – education and holiday programmes for teens with disabilities.
- Alcoholics Anonymous, Narcotics Anonymous and Alateen.
- Shakti - provides women’s development, empowerment and domestic/ family violence intervention, prevention and awareness for families of Asian, African and Middle Eastern origin.
- Te reo Māori immersion courses.
- NZ Sign Language courses.
- Midwife support groups and Otago Polytechnic Midwifery classes.
- Chinmaya Mission – providing children’s cultural learning.
- 13 counsellors and psychologists.
- Dynamite Music Classes for children.

As well as our regular House whānau, we have over 100 casual rōpū which book PCH on an as needs basis. In 2022/2023 50 rōpū were new to PCH and many of these have become regular House whānau.

## **Petone Community House**

Due to their diversity of needs, our House whānau require autonomous access to a safe and confidential space on weekends, evenings and early mornings. PCH is uniquely positioned to offer this.

Representatives of Petone Community House Inc attended the April 17<sup>th</sup> Long-Term Plan 2024 -2034 drop-in session at War Memorial Library. During this session we were told:

- There is no timeline for changes to leases. Conversations will start when individual leases come up for renewal.
- There are no physical proposals or documents which outline a plan for leases, other than the information on Page 10 of the LTP Consultation Document.
- There are no plans to change how the Community Houses are run.
- There are no plans to divest the Community House assets.
- HCC wants Houses to stay community-led and aligned with community needs and wants.
- There may be cases where HCC reviews spaces that are being used very infrequently and see whether activities can be hosted in a community space that is used regularly.
- Lease decisions will be made together with the Houses, rather than HCC making decisions and telling Houses what has to happen.
- The potential 30% increase in leases is not definite and HCC will talk to Houses individually to set up a plan and talk about what is possible.

### **Petone Community House Inc. feedback on the Long-Term Plan 2024-2034:**

- As affected parties, we wish to be fully and meaningfully engaged at the start of any and all discussions in regard to any and all matters pertaining to Petone Community House.
- We want PCH to remain as a community-led asset with Council financial support as it currently is (ie: the lease rent is 100% forgiven).
- We want the governance and operations structure of PCH to remain as is.
- We want our future lease agreement to remain for 36 months.
- We want our future lease agreement to require 12 months' notice in writing for any changes to the lease agreement by Council.
- We want the house and the land to remain as is so it can be used and enjoyed by the community as a community asset.
- We also support free parking in Petone as parking availability is a key component to the accessibility of PCH for our House Whanau. We do not want paid parking in Petone at all.
- We also support restoration of the Petone Wharf as a heritage asset, visitor and tourist attraction. We do not want the Petone Wharf demolished.

## **Petone Community House**

[REDACTED]  
[REDACTED]  
[REDACTED]

In conclusion, any changes to how Petone Community House is funded, accessed, run and managed affects our community house whānau. Therefore, full community partnership between HCC and PCH and clear and meaningful consultation with PCH and PCH communities is paramount.

The vital voice of the community must be heard and we support this open and ongoing kōrero. Thank you for this opportunity to give our feedback on the Long-Term Plan 2024-2034. Please acknowledge receipt and acceptance of this LTP feedback.

We would like to speak to this feedback.

If you have any questions, please contact our Chairperson, Sally-ann Moffat at

[REDACTED]

Ngā mihi nui ki a koutou,  
Petone Community House Inc--



## Submission on Hutt City Council Long Term Plan 2024/34

**From: Petone Historical Society**

**Contact details:** c/d [REDACTED] Please also send to [REDACTED]

**Contact person:** Nik Zangouropoulos, President. Phone [REDACTED]

There are three items we wish to comment on, set out below.

### **1. Petone Wharf**

In our submission on the HCC Draft Annual Plan 2023-24, we said:

*“The Petone Wharf should have been worked on before now. It was the most used and most wanted wharf when the problems with the wharves first surfaced. Leaving work on it for another six years until 2029 is a death sentence in effect for this listed historic item. Overall work certainly can’t wait until 2029 so a way forward is going to need to be found in next year’s Long Term Plan.”*

Instead, the Council has done a turnaround, and is now asking people to comment on two options for the wharf, both of which involve its demolition.

As an organisation which is based on recognition and protection of heritage, and has tried hard to work with the Council on heritage (for example through extensive and time-consuming involvement in development of the Hutt City Heritage Policy, and responding to Council officers’ requests to provide information on items of local heritage significance), we are stunned that the Council is ignoring its statutory responsibilities under the RMA and the LGA (through its heritage policy) to retain the wharf as a listed item of heritage value, not only in its own District Plan, but also in the Greater Wellington regional plan. Further, we are surprised that the Council has the confidence to expect that it will automatically be granted consents to demolish Petone Wharf. It seems risky to proceed on the basis of that assumption, regardless of the cost. Now that there appears to be a credible and effective way of repairing the wharf at a much lower cost (similar to the cost of demolition) we urge the Council to reverse its decision and develop a programme of works to repair the wharf and meet its heritage responsibilities.

The Council’s own studies have now documented the heritage values of the wharf (WSP work, undertaken for the draft District Plan – the current listing in the operative plan did not have that backing), and similar work has been undertaken for the Greater Wellington listing. We consider the Conservation Report (Studio of Pacific Architecture and others) may have indicated that much more work than is actually necessary for retention of the wharf (rather than full restoration to its “original” state) is required. Petone Wharf as a structure has evolved over the years, as successive uses have required its modification. We suggest that urgent work should be undertaken to open the wharf to the public for its previously-established informal uses. Over time, if a future commercial use becomes involved, further minor work may be needed. In the meantime, what is needed is sufficient work to retain the structure.

We note that the Council has progressively removed heritage fabric from the wharf without consents. We wrote to the Council about this as far back as 2018. Our request to reinstate the shed was ignored, and the gates have subsequently been removed. We consider that if basic structural work is carried out, there are groups in the community which would be prepared to help with reinstatement of the heritage fabric.

We remain completely opposed to any proposal to demolish this important heritage asset. Instead, we seek that the Council takes up any opportunity to repair the wharf, as soon as possible, on a staged basis.

## **2. Paid parking in Jackson St and the Library Carpark**

The Jackson Street heritage precinct is one of Lower Hutt's few "jewels" which attracts out-of-town shoppers and people seeking specific services in the Valley. As a traditional strip shopping street, it is vulnerable to any loss of occupancy at street level, which again is vulnerable to any loss of economic vitality of the commercial businesses. The street is full of history and historic buildings, which is a selling point for businesses, and also a strong basis for community engagement and pride. For the last three decades, successive Councils have recognised the importance of Jackson Street and have enabled the street to maintain and promote itself through being a special rating area. The co-operation of local property-owners in the special rating area is unusual, and is based on positive relationships with the Council.

The suggestion of installing and managing parking metres in Jackson Street and on the nearby public carpark runs entirely contrary to this careful relationship. It has the likely potential effect of undermining commercial confidence (which is low both locally and nationally in the retailing and hospitality sectors). Over time we would expect this to have a compounding negative effect on the already vulnerable retail and hospitality sector which occupies the street's buildings. In the longer term we would expect this to result in less investment in the street's heritage buildings. We consider that this approach also runs contrary to the Council's heritage policy.

We ask that the Council not proceed with the proposal to install paid parking in Jackson Street or nearby.

## **3. Petone Recreation Ground Grandstand**

When our organisation was asked to identify items to include in the review of the Hutt City Council District Plan for heritage protection, we included the Grandstand in our proposals. Although not the original Grandstand at the Rec, we considered its association with various sporting codes, and the fact that it was a rebuild of the previous grandstand carried out for the 1940 national Centennial, as well as its design, was sufficient to justify its heritage recognition and listing. Council officers working on the District Plan review agreed, and subsequently work commissioned from WSP has confirmed the Grandstand justifies heritage protection. This is indicated in the draft District Plan. At draft stage, the building has no heritage protection. However, the work done shows that it does justify such protection.

We recognise that the Council has been advised there are structural issues with the building. However, any modification to be undertaken should recognise that the building does have heritage significance and should retain as much existing fabric as possible. We would like to be consulted if changes are to be made.

Thank you for the opportunity to comment. **The Petone Historical Society wishes to be heard on this submission.**

1 May 2024



Petone Rugby League Football Club Inc

██████████  
Petone  
5012

Email: ██████████

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Tēnā Koutou Hutt City Council,

I am writing to you as a member of the Rugby League community to express my concern at how sports grounds might be managed as outlined in the Hutt City Council's long-term plan 2024-2034.

As someone deeply rooted in Rugby League, I have witnessed firsthand the important role and positive impact our sport plays in enhancing Hauora and a sense of belonging. It is with great pride that I have observed the remarkable growth in participation, particularly amongst our juniors and women.

However, with this increase in participation comes an urgent need for sports grounds and facilities that can adequately accommodate our expanding community. Access to sand-carpeted fields with drainage systems and floodlit lighting are crucial in ensuring the safety and enjoyment of our communities. There is a considerable infrastructure gap that our sport currently faces. By directing resources towards sports grounds and facilities that cater to the diverse needs of our growing participant base, we can continue to uphold Rugby League as a dynamic and inclusive sport accessible to all.

I wish to acknowledge to Hutt City Council for its ongoing support of the Rugby League within Lower Hutt. I am confident that together we can continue to positively impact the lives of our Rugby League communities and enrich the sporting landscape of our city.

Thank you for considering my perspective on this matter.

Dallas Vincent

A handwritten signature in black ink, appearing to read "D. Vincent".

Kindest regards,  
Chairman



**From:** [Warren Powell](#)  
**To:** [haveyoursay](#)  
**Subject:** [EXTERNAL] Town square  
**Date:** Sunday, 28 April 2024 10:09:36 pm

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I note that as part of fixing the library there is a suggestion that the area around the library could be redeveloped into some sort of town square. This seems a bit optimistic. This area is not on the main thoroughfare so people have to change their habits and deliberately go there for some kind of shared outdoor sit, talk, read, contemplate, meet your neighbour's experience. There is no guarantee that they will.

Here's an idea. Fix the leaks in the library and work to reopen an existing, unique to Petone "town square" that has been enjoyed by generations of residents and visitors. A place to walk, a place to bump into your neighbour or someone you haven't seen for ages. A place to stare into the distance. A place for kids to scoot or ride their bikes. A place to get a unique view of our special home town. A place where the scenery changes every day (often several times a day). A place to sit and read or think or (if you have the patience) try to catch a fish.

FIX THE WHARF. We already have a town square and the wharf is it.

Thanks for listening  
Warren Powell



# Property Council New Zealand

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## Submission on Hutt City Council's 10 Year Plan 2024-2034

2 May 2024

**For more information and further queries, please contact**

**Sandamali Ambepitiya**



## Hutt City Council's 10 Year Plan 2024-2034

### 1. Summary

1.1 Property Council Wellington Branch ("Property Council") welcomes the opportunity to provide feedback on Hutt City Council's 10 Year Plan 2024-2034.

### 2. Recommendations

2.1 At a high level, we recommend that Hutt City Council ("the Council"):

- Investigate alternative funding methods such as targeted rates and special purpose vehicles;
- Supplements development contributions with alternative funding and financing tools to reduce cost pressures;
- Pursue a city and regional deal with central government to contribute towards funding regional infrastructure; and
- Adopt Option 2 for funding growth infrastructure.

### 3. Introduction

3.1. Property Council is the leading not-for-profit advocate for New Zealand's most significant industry, property. Our organisational purpose is, "Together, shaping cities where communities thrive".

3.2. The property sector shapes New Zealand's social, economic and environmental fabric. Property Council advocates for the creation and retention of a well-designed, functional and sustainable built environment, in order to contribute to the overall prosperity and well-being of New Zealand.

3.3. Property Council is the collective voice of the property industry. Property is the fourth largest industry in Wellington. There are around \$40.4 billion in property assets across Wellington, Wellington (10 percent) and employment for 20,640 Wellington residents.

3.4. We connect property professionals and represent the interests of 134 Wellington based member companies across the private, public and charitable sectors.

3.5. This document provides Property Council's feedback on [Hutt City Council's 10 Year Plan 2024-2034](#). Comments and recommendations are provided on issues relevant to Property Council's members.

### 4. Rates increase

4.1. The total revenue collected from rates for 2024-25 is proposed to increase by 16.9 per cent, with the impact of this on the average commercial central property also being 16.9 per cent.



4.2. While Property Council can appreciate that Council has landed on 16.9 per cent increase after weighing up various options and making budget savings, this increase, along with the proposed increase in development contributions, has the potential to dampen business prosperity in Lower Hutt.

## **5. Increase in Development Contributions (DCs)**

### *Impact on housing affordability*

5.1. DCs can either enable or stifle development. It's easy to look at an increase and expect that it will have minimal impact, but collectively these increases could significantly increase the cost and risk of development. At a time when we desperately need to increase Lower Hutt's housing supply, particularly of affordable housing, and streamlining development, we are potentially creating a situation with the opposite effect.

5.2. For example, DCs in the Valley Floor catchment are increasing to \$53,003 (from \$14,779). Large increases (of \$38,224 per dwelling), will make developers relook at the feasibility of their projects and consider either pausing or halting projects altogether.

5.3. Increased development contribution fees across Lower Hutt, particularly in the Valley Floor catchment, will likely result in the following outcomes:

- Additional costs being passed onto the eventual buyer or occupier, making housing and occupancy costs more expensive; and/or
- Planned developments being postponed, re-evaluated, or cancelled, due to increased costs reducing the overall affordability of the development or project; and
- Greater development of standalone housing reducing the delivery of more affordable housing.

### *Impact on business and employment*

5.4. Property Council's Property Impact report<sup>1</sup>, shows that the property sector provides employment for 20,640 Wellington residents. A portion of these workers will be employed and/or live in Lower Hutt. Having a development contribution policy that may make development unfeasible will have direct implications for employment, with numerous flow-on effects to the multitude of professional services and sub-contractors (such as plumbers or electricians) that work on new developments.

5.5. *Impact on housing typology in Lower Hutt*

5.6. High development contribution fees will impact housing typologies. There is a tipping point where developers cannot feasibly provide town houses or apartments at any level of affordability, forcing greater development of standalone housing and reducing the

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<sup>1</sup> [Property Industry Impact Report 2021](#), Property Council New Zealand.

delivery of affordable housing across Lower Hutt. This will lead to greater housing supply challenges.

## **6. Alternative funding solutions to development contributions**

### *6.1. Alternative funding solutions*

6.2. Property Council advocates for all local authorities throughout New Zealand to investigate alternative funding methods. We support the use of transparent, user-pays funding models for local government. Examples of these models include targeted rates, user-pays and special purpose vehicles.

6.3. The alternative funding tools mentioned above, are more equitable to ratepayers and better meet the legislative principles of transparency and objectivity for funding local government set out in both the Local Government Act 2002 and Local Governing (Rating) Act 2002.

### *Special Purpose Vehicles*

6.4. Special Purpose Vehicles (SPVs) are an important tool for funding and financing infrastructure in a fair and equitable manner. SPVs are advantageous as they sit off a Council's balance sheet and do not impact debt levels.

6.5. Property Council has previously supported Tauranga City Council's use of SPVs for the Transport System Plan and Civic Precinct project, as well Wellington City Council's use of SPVs for the Moa Point sludge minimisation project. We recommend the Council investigate projects that could unlock a Special Purpose Vehicle funding model.

### *Role of central government*

6.6. With the recent change in Government, there is increasing growing discussion regarding city and regional deals between central and local government that could unlock funding and create certainty for future infrastructure investment. City and regional deals are a long-term agreement between central and local government to establish shared infrastructure investment and an agreed pipeline of funding.

6.7. Plausibly, these arrangements could further encompass new and innovative approaches to funding and financing, such as revenue sharing measures (i.e. sharing GST with local government), public-private partnerships, value capture and/or user-charges (i.e. road-congestion charges).

6.8. Having greater financial support and investment from central government will drive improved infrastructure outcomes across Lower Hutt. This will help unlock Lower Hutt as an exciting place to live, work, play and shop, as well an attractive destination for investment and development. Property Council recommends that the Council pursue a city and regional deal for Lower Hutt.

## 7. Options for funding growth infrastructure

- 7.1. Property Council supports Option 2 in which part of the Council's growth-related capital expenditure would be funded through development contributions and financial contributions, and the remainder from another funding source, such as rates. The property sector is not opposed to paying its fair share of development contribution costs. One of our major concerns is that we have seen DCs be poorly implemented and in some cases are being used in part to unfairly plug funding gaps.
- 7.2. Implementing Option 2 will see less cost fall on developers, ultimately increasing the feasibility of projects in the pipeline, and more affordable housing for residents across Lower Hutt.

## 8. Conclusion

- 8.1. While we understand the challenging economic environment facing Council, it is a challenge that the private sector is also facing. We are concerned that some of the Council's proposals, including the significant increases to development contributions, will not see the development community in Lower Hutt thrive.
- 8.2. Property Council members invest, own, and develop property in Wellington. We wish to thank Wellington City Council for meeting with us as well as the opportunity to submit on the Hutt City Council's 10 Year Plan 2024-2034. This gives our members a chance to have their say in the future of our city. We also wish to be heard in support of our submission.
- 8.3. Any further enquires do not hesitate to contact Sandamali Ambepitiya, Senior Advocacy Advisor, via email: [REDACTED].

Yours Sincerely,



Gerard Earl

Wellington Committee Chair

Property Council New Zealand

**From:** [Daniel Chrisp](#)  
**To:** [haveyoursay](#)  
**Subject:** [EXTERNAL] LTP Submission - on behalf Tom Putawai  
**Date:** Monday, 29 April 2024 6:33:27 pm

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Hi there I am emailing this submission in on behalf of Tom Putawai

He can be contacted on [REDACTED]

Tom and I will be arranging a time to hand over the Petition prior to the hearings as per the standing orders.

See below

"On behalf of the petition which I Tom Putawai started, I have lived here for 44 years and am a Kaumatua at Wainuiomata Marae - At the Marae we often talk about the need for a lower hutt cemetery after every tangi we attend. Unfortunately many of the other Kaumatua's have now also passed, meaning I am also speaking on their behalf.

If the council will consider looking at building a cemetery in Wainuiomata - We have collected more than 350 signatures on the petition, including many Funeral Directors from around the motu. we hope that the council will agree and say yes. My helper Daniel Chrisp is a member of the Wainuiomata Community Board and can fill you in on any details for this important issue.

I've looked at two possible locations

1. Ngaturi Park
2. Upper Fitzherbert road

I present this petition the best i can to the community and people of the whole of the Hutt Valley

God Bless - Nga Mihi Kei-Konei"

--

**Daniel Chrisp**  
[REDACTED]

## Hutt City Council Long Term Plan submission April 2024

### Submitter details:

<b>Name of contact person:</b>	Sam Newton – Advocacy Manager
<b>Organisation name:</b>	New Zealand Recreation Association t/a <i>Recreation Aotearoa</i>
<b>Postal address:</b>	PO Box 11132, Manners Street, Wellington 6142
<b>Telephone number:</b>	[REDACTED]
<b>Email:</b>	[REDACTED]

## **Submission:**

### **Introduction**

1. Recreation Aotearoa is a registered charity and the organisation responsible for providing leadership, advocacy, and professional development opportunities for those involved in the broader recreation sector. We work at an agency, industry and professional level to build capability, develop partnerships, and equip individuals and organisations with the skills they need to deliver high quality recreation experiences that engage participants.
2. Recreation Aotearoa's membership includes recreation policy makers, territorial local authorities, voluntary organisations, regional sports trusts, consultants, outdoor recreation organisations, and others involved in the delivery of recreation throughout New Zealand.
3. Our mission is enhancing wellbeing through recreation.
4. We welcome the opportunity to provide input into the Hutt City Council Long Term Plan.

### **The value proposition of investment in Active Recreation**

5. Recreation Aotearoa believes recreation is vital to New Zealand society. Recreation is not just about enjoyment. It is about being healthy, engaged, stimulated, and interacting with others. This occurs via outdoor recreation, community recreation, and within parks, aquatics, and facility-based recreation centres.
6. Recreation generates significant value for society across several of the wellbeing domains and outcomes expressed within NZ Treasury's Living Standards Framework: Health; Subjective Wellbeing; Income Consumption and Wealth; Work, Care, and Volunteering; Family and Friends; Safety.
7. The most significant benefit of recreational physical activity, surpassing others by a significant margin, is derived from health benefits, even when factoring in the costs associated with related accident and injury claims. Overall health benefits to New Zealand amount to \$9.0 billion, or \$8.4 billion after deducting the injury claims. This constitutes nearly half of the net social value generated by physical recreational activities in Aotearoa New Zealand.

8. Our population instinctively understands this. In a large survey 90 per cent of New Zealanders agreed that “by being active they are in turn maintaining a good level of health and fitness, and this helps to relieve stress.”
9. Physical inactivity is associated with loss of productivity, health costs, as well as associated costs with pain and suffering. Healthier, happier individuals are more likely to do well in other areas of their lives, whether it is in social or professional situations. This has a positive flow-on effect for communities.
10. The availability of public green spaces, including those designated for recreation, has been linked to increased mental well-being.
11. In a study conducted in New Zealand; individuals who met the global physical activity recommendations were found to have a 51% higher likelihood of experiencing healthy mental well-being.
12. Engaging in active recreations is known to reduce the prevalence of mental health conditions like depression and anxiety, as well as non-communicable diseases such as cancer, heart disease, and type 2 diabetes, ultimately enhancing life expectancy.
13. Studies indicate that involving peers and parents in developmentally suitable play provides children with the chance to cultivate social-emotional skills. These skills encompass problem-solving, collaboration, negotiation, language acquisition, and self-regulation. This contributes to the development of executive functions and facilitating effective social interaction with others. Engaging in outdoor recreation during childhood has also shown a positive association with the development of pro-environmental attitudes and behaviours in adulthood.
14. Moreover, research has demonstrated that recreation enhances social cohesion, fosters community connectedness, and strengthens community identity. A recent literature review presented compelling evidence of positive outcomes for older adults, including increased social support, the formation of friendships, and a heightened sense of integration within the community. Similarly, for young people, participating in such activities contributes to the development of friendships, a clearer sense of self among peers, a feeling of belonging, and an enhanced sense of community. 74% of New Zealanders agree

that “sport and physical activity help build vibrant and stimulating communities.”

15. Research indicates that offering fair and secure opportunities for sport and active recreation, that are inclusive of the entire community, can create connections among individuals and groups, bridging societal divides based on factors like race, class, gender, ability, or religion. 84% of New Zealanders believe “sport and physical activity bring people together and create a sense of belonging.”
16. Play serves a therapeutic and rehabilitative function in aiding tamariki to recover in the aftermath of crises, such as the impact of Covid-19 or recent events like Cyclone Gabrielle. This involves assisting children in regulating the body's stress response, providing an avenue to comprehend the events affecting them and their community, and facilitating the development or reconstruction of social connections through shared experiences. In a time where Tamariki will be subject to the increased frequency and intensity of severe weather events, play will be critical.
17. Research indicates that establishing connections with supportive individuals or groups within organised recreation settings fosters the development of various 'protective factors,' potentially mitigating antisocial behaviour. Enhancing community recreation facilities, such as local parks, has the potential to elevate participation rates and community mana, simultaneously diminishing perceived instances of antisocial behaviour within the community.
18. A thriving recreation industry can also help our nation prosper socially and economically. At last count, Play, Active Recreation and Sport contributes \$4.9 billion or 2.3% to our annual GDP, and the sector employs more than 53,000 New Zealanders.
19. Newly released findings from a Social Return on Investment study reveal that each dollar allocated to play, active recreation, and sport yields a social return of \$2.12 in New Zealand. In essence, every dollar invested in these activities results in more than a twofold social return. It's important to note that this is a conservative estimate, and the actual return, particularly for those currently excluded from opportunities for physical activity, is likely to be even higher. This submission will expand on this point with reference to the disability community and tangata whenua, separately.



20. The nation's recreation values and opportunities are fundamental to the tourism industry, and support regional development by encouraging skilled professionals and migrants to consider options in and beyond the main centres. Approximately 50% of international visitors to New Zealand participate in one form of outdoor recreation, or another.
21. Creating well-designed green spaces for physical activity in urban areas can enhance their resilience to severe weather events, such as Cyclone Gabrielle. Additionally, these green spaces contribute to cooling urban environments and promoting the health and well-being of residents. This submission will expand on this point, separately.
22. Greater understanding of these benefits and their downstream impacts, along with awareness of how Local Government can influence recreation delivery, are key to ensuring that New Zealand's recreation opportunities remain among the world's best.

### **Recreation through a Te Ao Māori lens – Te Whai Oranga**

23. The English term "recreation" lacks a direct translation in te reo Māori. Te Kāhui Kura Māori, the Māori navigational group of Recreation Aotearoa, offered an insightful alternative, defining recreation in their strategy as "Te Whai Oranga" – the pursuit of wellbeing. Te Whai Oranga has subsequently been adopted as the title and fundamental underpinning of our organisational strategy.
24. This definition prompts a shift in approach, encouraging individuals to consider recreation not just as a pursuit of physical activity but as a holistic endeavour focused on providing wellbeing. This perspective diverges from the conventional approach of prioritising the physical aspects of recreation, emphasising that the tangible outcomes are byproducts of the overarching pursuit of Te Whai Oranga.
25. In a society struggling with disconnection and environmental challenges, the wisdom of Te Whai Oranga, a Māori approach to recreation, offers a powerful and much-needed antidote. It's not simply a collection of activities, but a holistic philosophy that weaves together well-being, environmental connection, and community spirit, creating a tapestry of resilience in the face of modern challenges.
26. Te Whai Oranga reconnects people to the Natural World. Māori recreation prioritises time spent outdoors, fostering a deep respect for

the environment. This is more than just enjoying nature; it's about understanding our place within it, becoming stewards rather than possessors. Māori knowledge systems and practices offer solutions to environmental challenges that are often missing in mainstream approaches.

27. Te Whai Oranga strengthens relationships and communities. Māori recreation is rarely a solitary endeavour. It's about shared experiences, storytelling, and strengthening bonds within whanaungatanga (extended family) and the wider community. This focus on collectivism and support networks can combat social isolation and build the resilience needed to tackle challenging issues like poverty and incarceration.
28. Te Whai Oranga promotes holistic well-being and recognises the interconnectedness of physical, mental, and spiritual health. Activities like dance, music, and storytelling are not just fun; they can be forms of emotional release, stress reduction, and spiritual connection. This aligns with the Māori Health Strategy's emphasis on "Te Oranga Whanui," the holistic well-being of the community.
29. Te Whai Oranga raises environmental awareness. Engaging with the environment through traditional practices like hunting, fishing, and gathering fosters a deep understanding of its resources and limitations. This awareness can translate into sustainable resource management and responsible environmental stewardship.
30. In our hyper-connected world, Te Whai Oranga offers a counterpoint to the constant noise and distractions. Activities like weaving or carving require focus and mindfulness, promoting inner calm and reducing stress. This resonates with the growing understanding of the detrimental effects of information-overload and the importance of mindful practices.
31. Ultimately, Te Whai Oranga is about recognising that our well-being is intrinsically linked to the well-being of our communities and the environment. It's about prioritising connection, respect, and holistic health. In a world struggling with disconnection and environmental neglect, Te Whai Oranga offers a powerful path towards healing ourselves and our planet.

32. Encompassing the kaupapa above, Recreation Aotearoa lays down a wero (challenge) to Council's to consider and invest in providing opportunities that reflect Te Ao Māori views of recreation and to encourage and support more Māori to recreate in culturally-centred ways.

### **Disability - Accessibility & Inclusion in Recreation**

33. Recreation Aotearoa believes that the significance of enhanced access to active recreation for people with disabilities is currently underappreciated by local government. The Sport New Zealand Spotlight on Disability Report (2018) tells us that in any given week, people with disabilities participate less, and in fewer sports and recreation activities than people without disabilities across Aotearoa.

34. We also know that people with disabilities who participate in fewer sports and activities score less favourably on health and wellbeing indicators, and according to the NZ Wellbeing Statistics (2021), people with disabilities are currently faring worse (comparative to people without disabilities) across a range of wellbeing outcomes.

35. Recreation Aotearoa submits, however, that there is a strong appetite by people with disabilities to participate more, comparative to people without disability, particularly with disabled adults aged 25 and over.

36. Sport NZ's Active New Zealand data also demonstrates that the majority of the top 20 activities disabled adults want to try in the next 12 months are recreational in nature (rather than traditional sport), with a similar trend demonstrated for children and young people.

37. It's clear that individuals with disabilities often experiences even greater benefits from recreational activities than their non-disabled counterparts.

38. However, people with disabilities also have more barriers to increasing their participation than people without disability. For rangatahi for instance, a lack of nearby accessible facilities and spaces is a much stronger barrier than people without disabilities of the same age.

39. Recreation Aotearoa note that 52% of respondents with a disability/access need in the 2020 Access Survey reported there is a range of public activities and events that they would like to participate in but are currently unable to because of inaccessibility.
40. Recreation Aotearoa notes that funding is a common barrier reported by Councils to enhancing the accessibility of recreation places, spaces, and opportunities. Strategically prioritising and allocating funds to enhance accessibility within existing budget investments for public recreation spaces is vital to ensure that the development and improvement of these areas actively and effectively addresses the diverse needs of people with disabilities.
41. Based on your population of 113,000 people, and the latest NZ Disability Data (2013), there are an estimated 27,120 people with disabilities living in Hutt City.
42. Considering the wider whānau impact of disability and inactivity, and the increasing rate of impairment comparative to the aging population, statistically there is a significant proportion of your community currently missing out on the irrefutable benefits of being physically active.

### **The importance of Local Government to the Play, Active Recreation and Sport (PARS) Sector**

43. Councils in New Zealand play a critical role in providing opportunities for New Zealanders to be physically active. Reciprocally, the realisation of various local government objectives and outcomes relies on investment in facilities, infrastructure, resources, and opportunities that promote engagement in play and active recreation.
44. It has been recently established that total funding to the play, active recreation, and sport (PARS) sector was \$4.0b, in 2022. Over 25% of this total (\$1.06b) is from local government. Local government funding of the PARS sector far exceeds that of central government and class 4 gaming grants, combined.
45. Recreation Aotearoa recognises that local government is contending with a multitude of financial challenges, including those related to water infrastructure, climate change mitigation, inflation, and the imperative to restrict rates increases. Additionally, there has been a notable decrease in the Lotto Significant Projects Fund, which

traditionally supports sport and recreation infrastructure. Currently, there is no specific central government funding allocated for community sport and recreation infrastructure, and the prevailing financial conditions indicate that this issue may not be addressed in the near future.

46. However, Recreation Aotearoa submits that central and local government are jointly responsible for the well-being of New Zealanders. The establishment of a national direction and a shared framework for wellbeing lies with central government. However, developing local wellbeing plans and allocating resources, largely sits with local government, which can foster innovation, collaboration, and localisation.
47. We have observed that regional funding forums, currently in place in many areas, play a valuable role in ensuring alignment at a regional level. Additionally, partnerships between organisations can help reduce costs, achieve economies of scale, and explore innovative approaches to provide opportunities for physical activity.
48. Local government plays a crucial role in addressing the escalating challenges posed by climate change, urbanisation, economic uncertainty, and threats to social cohesion. Prioritising physical activity can serve as a means to tackle these overarching issues. For example, effective placemaking that promotes recreation can enhance the appeal of cycling or walking, creating more attractive, safer, and inclusive spaces for social interactions. This, in turn, encourages spending time in and around local businesses and retailers. Active local communities contribute to the overall health, of individuals and families, leading to reduced strain on the healthcare system and improved well-being outcomes.
49. Recreation Aotearoa submits that transforming local government into a champion of well-being, with backing from central government, has the potential to yield tangible and positive results for both local communities and the entire country. We propose placing a distinct emphasis on recreation as an integral component of this wellbeing focus. Furthermore, we believe that recreation could serve as a proving ground for a novel partnership approach involving central and local government, as well as Māori.
50. The above-mentioned challenges and opportunities demand the efficient utilisation of funding at national, regional, and local levels. Ensuring that the available funding is employed in ways that yield the best return on investment is of paramount importance. Improved

understanding and collaboration among organisations, coupled with a heightened awareness of the priorities of each organisation, can facilitate alignment and mutual support across various funding sources. Ultimately, it is local government supported by Regional Sports Trusts (RSTs) that will lead this Kaupapa.

### **The vital importance of urban green spaces - The PCE weighs in**

51. As an independent Officer of Parliament, the Parliamentary Commissioner for the Environment (PCE) has broad powers to investigate environmental concerns and is independent of the government of the day. The Commissioner's work is directed towards the single output of independent reports and advice on environmental issues, and a mission to maintain or improve the quality of Aotearoa New Zealand's environment.
52. In March 2023, the PCE published a report titled "*Are we building harder, hotter cities? The vital importance of urban green spaces*". It has been very favourably received by professionals in a variety of sectors including town-planning, ecology, Civil Defence Management, Infrastructure, and Recreation. It makes many salient points, that Recreation Aotearoa affirms and submits to HCC for consideration.
53. In recent decades, factors such as population growth, urban sprawl, traffic congestion and loss of productive land have brought about profound transformations in New Zealand cities. In response, various changes in the realm of infrastructure, densification, re-zoning, transportation, and water services have been carried out. However, amid these changes, the significance of green space is at risk of being overlooked, or even neglected.
54. Instead of the traditional model of stand-alone homes in new peri-urban suburbs, a significant portion of the current housing construction takes the form of attached or semi-attached dwellings, such as apartments townhouses or terraced houses, within city limits. 60-80% of new residential titles in New Zealand cities since 2016 are within the pre-existing urban footprint.
55. This urban intensification reduces both the quality and quantity of urban green space. Infill housing removes gardens, lawns, trees, and soil. Increased population density impacts on the usability of existing Parks and green Spaces. In some cases, parks and green spaces are repurposed for other uses, all together. Grass berms, shrubbery, and trees adjacent to streets are reduced or removed.

56. The report goes into some detail and proves abundant examples and evidence of the important role green spaces provide. Including, temperature regulation, stormwater management, air filtration, carbon sequestration and habitat provision.
57. The PCE outlines three risks associated with this loss of green Space. The first concerns what the loss of green space might mean for the health and wellbeing of cities population and is largely covered previously in this submission. Similarly, the amenity or 'placemaking' benefits that urban green space provides is covered elsewhere in this submission and the risk of its loss is obvious.
58. Perhaps the most pertinent point the PCE made, in light of Cyclone Gabriell and the likelihood of further severe weather events, relates to stormwater management.
59. Recent flooding events highlight the risks of creating large, hardened surfaces that cannot cope the increased precipitation resulting from climate change. While one response might be to further fortify infrastructure, climate change brings additional challenges like temperature stress. As New Zealand anticipates potential heat wave crises, an urban landscape dominated by concrete and asphalt could exacerbate discomfort and, in some cases, pose risks to lives.
60. For these reasons and many more, Recreation Aotearoa submits that the Long-Term Plan pay much more regard to the provision and expansion of urban green space within Hutt City. We urge that a considered, regionally appropriate, and well-funded programme of tree planting be implemented in public spaces. This should specifically focus on areas adjacent to streets and footpaths, which are the most popular places in which physical activity takes place. We face a future in which, without adequate tree cover, it may simply be too hot to be physically active outdoors in summer.

### **Recreation in Hutt City**

61. We acknowledge and thank Hutt City Council as the major provider of our city's sport and recreation facilities. By investing in recreation, Hutt City Council is helping to instil a lasting culture where active living matters. The work of Hutt City Council makes a real difference.

62. The Hutt City Council has a critical part to play in ensuring people continue to enjoy quality recreation opportunities. These need to be available to everyone, regardless of age, fitness level, ability, or socio-economic background.
63. Council planning needs to adopt a long-term approach that considers factors such as urbanisation, population growth, and an ageing population, to ensure recreation can continue to thrive amid change.
64. Research has found that in areas of activity decline, government and community-led interventions helped reverse the trend. When the infrastructure is in place, such as parks, playgrounds or aquatic facilities, people are more likely to be active.
65. Population growth and increased demographic diversity has and will continue to place pressure on recreational infrastructure in Hutt City.
66. We support the prioritisation of investment in walking and cycling routes in Hutt City. Investment in Active Transport infrastructure achieves the dual symbiotic benefit of easing traffic congestion and making it easier for residents to integrate healthy recreational activities into their day-to-day lives. We note that 49% of tamariki/rangitahi in the Wellington region use active transport to and from school, this is one of the highest percentages in all of New Zealand.
67. The data provided by the Sport NZ Active New Zealand survey reveals that 44% of tamariki/rangitahi in the Wellington region do not do enough physical activity to meet Ministry of Health physical activity recommendations. This is a significant decline from previous years.
68. The same survey revealed that there are significant levels of unmet demand in the Wellington region – 59% of young people and 82% of adults have a desire to do more physical activity. 10% of young people cite that ‘there are no places nearby to do what I want to do’ it as a barrier to increased physical activity. 23% cite the weather as a barrier, which is significantly higher than the national average.
69. In the Wellington region, physical activity is largely informal and recreational, in nature. 79% of young people prefer physical activities that allow them to follow their own schedule rather than someone else's. This percentage has increased significantly in recent years. Similarly, 63% of young people in the region prefer to do physical activity that is more flexible and less structured. This has increased significantly in recent years, also.



70. This is further evidenced by a decline in participation in school and club teams. In 2018, 87% of young people in the Wellington region were part of a school or club sports team. This has steadily declined to 80%.
71. Participation is largely non-competitive. We note that 67% of adults and 67% of young people participate in non-competitive activities, exclusively. For adults, this is a large increase, relative to previous years.
72. Recreation Aotearoa would also like to acknowledge the Hutt City Council for their support and contribution towards the Wellington Region Spaces & Places plan, in partnership with Nuku Ora and adjacent Local Territorial Authorities. Committing to and adhering to such a plan avoids duplication, enhances recreational opportunities, and ensures efficiency of expenditure at a regional level. We also commend Hutt City Councils representation on the Regional Spaces and Places Steering Group.
73. We also acknowledge the significant effort and commitment that has been made by Hutt City Council in the formulation of the Leisure and Wellbeing Strategy and the various Parks and Reserves Management Plans.

### **Specific Comments:**

74. Recreation Aotearoa support the development of Council disability policies and strategies which include provisions and initiatives to enhance the accessibility of recreation places, spaces, and opportunities. We express our support for the Hutt City Accessibility and Inclusiveness Plan 2017-27, and commend the work undertaken in this realm.
75. We further encourage HCC to increase investment for the provision of more accessible play equipment across your network of playgrounds, and for the provision of more beach mats at additional locations within Hutt City, as part of this LTP.
76. Recreation Aotearoa submit on the importance of genuinely consulting and collaborating with people with disabilities and their whānau, and encourage Hutt City to continue such comprehensive accessible, and inclusive consultation processes within the design, development, and upgrades of the recreation spaces specified within the LTP.

77. We further submit our support for maintaining collaboration with people with disabilities throughout the duration of such projects and warn of the risk of only consulting with end-users at the beginning of a project, or after it is too late. Maintaining ongoing input from the disability community and advisory groups at regular intervals, is an essential principle to imbed within the project developments.
78. Alongside robust processes for maintaining collaboration with people with disabilities, Recreation Aotearoa also submits its support for ensuring there are processes stipulated in policy whereby people with disabilities can notify council of any barriers to accessing recreation places, spaces, and programmes. This includes aligned procedures of how such barrier will be addressed and remediated by council.
79. Recreation Aotearoa submits its support for the Reserves Investment Strategy and the commitment to developing community and regional parks. We also commend and support the underpinning of this investment by the Wellington Region Spaces & Places plan and the Parks and Reserves Management plans. The proposed planning and investment will improve the availability of opportunities for active recreation.
80. However, we can't help but notice and express our concern that there exist significant differences between what is documented in the Wellington Region Spaces & Places Plan and what is proposed in the LTP. Recreation Aotearoa submits that further consideration be given to incorporating much more, if not all, of the Spaces and Places Plan into the LTP. Similarly, there is not an obvious commitment that all aspects of the Reserves Investment Strategy are funded.
81. Recreation Aotearoa submits its support for the investment in Play by Hutt City Council. It is essential that investment in Play infrastructure is applied to the growing population in new urban developments and under-active demographics in high deprivation communities. Recreation Aotearoa notes that co-design kaupapa for Play infrastructure often results in a desirable bias towards less structured and informal modes of play.
82. Recreation Aotearoa cautions against deferred maintenance and upgrades of playgrounds, specifically. It is essential that planned investments in public toilets, walkways and connecting green spaces are implemented as planned. This especially the case for areas that will

see large increases in demand for recreation infrastructure, within the term of the LTP.

83. Recreation Aotearoa submits its support for the new build and \$68m investment in the Naenae Aquatic and Fitness facility.
84. Recreation Aotearoa submits its support for Option 1, with regard to the investment in Petone assets.
85. Recreation Aotearoa submits its support for the \$180m investment in Te Wai Takamori o Te Awa Kairangi (RiverLink), but cautions that there have been concerns raised that accessibility and inclusion are not at the forefront of this project.
86. Recreation Aotearoa submits its support for the \$79.9m investment in Tupua Horo Nuku, specifically in regard to the improvement it will make to active transport opportunities and the ability of residents to incorporate physical activity into their daily lives.
87. Similarly, to the extent that the Cross Valley connections projects stimulates walking and cycling, Recreation Aotearoa is supportive of this investment.
88. Recreation Aotearoa supports the Councils commitment to the \$31m investment into the Cycleway and micro-mobility programme, in particular.
89. Recreation Aotearoa has long supported Active Transport initiatives across the motu. Recreation Aotearoa notes that these projects support increased participation in walking, cycling, scooting, and skating – forms of physical activity that the Active NZ survey identified as leading preferences for residents of the Wellington region.
90. Investment in Active Transport infrastructure achieves the dual symbiotic benefit of easing traffic congestion and making it easier for residents to integrate healthy recreational activities into their day-to-day lives.
91. Recreation also submits its concern that cost escalation in undertaking these investments may be inadequately accounted for. Recent observations from around the motu, in both the PARS sector and others, have demonstrated that inflation in materials, labour and debt-

servicing has placed considerable budgetary pressure on long term projects.

92. Recreation Aotearoa cautions Hutt City Council of a predictable lag-effect of participant uptake in the utilisation of new recreational facilities. Many forms of recreation have suffered a loss of participant numbers and organisational capability after recent challenges. Recreation Aotearoa urges Hutt City Council to be patient with regard to how quickly and fully new facilities are utilised by different recreational groups.
93. Additionally, we submit that rapid changes in demographics, participation trends and technology mean that a 'build it and they will come' approach doesn't always work. Simply building infrastructure is not enough. Recreational assets need to be activated and programmed to make them more appealing and to break down barriers for the hard-to-reach areas of the community.
94. Recreation Aotearoa recognises and supports the efforts being made to build resilience to and reduce climate change effects. Specifically, we commend the plan to plant more trees via the Urban Forest initiative.. However, we note with concern that the Climate change mitigation and adaption in the Hutt City draft LTP, is not given the same credence as it has in other LTPs.

-----Original Message-----

From: Red Ute Builders [REDACTED] >  
Sent: Monday, March 25, 2024 6:47 PM  
To: haveyoursay <haveyoursay@huttcity.govt.nz>  
Subject: [EXTERNAL] No more building

Please don't build anything if you don't have any money in reserve, I'm not keen on contributing to paying more rates.

Think about finances and finishing work that has already been started.

The roading work that has been going on throughout the Haywards is embarrassing, if workmanship was carried out like this in building and construction you would be fired immediately.

Traffic safety management systems are an absolute joke, far too many man and woman resting. The bosses of these businesses are killing it through laws that they have created themselves it's embarrassing as a kiwi working his but off to stay below the poverty line.

Please take this into consideration or let me have a good look at the books, you should be making a significant amount of money through rates.

Can I make an appointment with Campbell please?

Regards Luke

[REDACTED]  
Stokes Valley

22/04/2024

Re: H.C.C. 10 Year Plan Response

Thanks for your invitation to feedback on the H.C.C. 10 year plan.  
Accordingly, please accept my response and file the attachments.

I am a Te Awa Kairangi ki Tai resident and home owner in the suburb of Stokes Valley and I work at Walter Nash Park in Taita as facilitator of the Common Ground project (see attached summary) Initially I linked to the 56 page consultation document but needed to refer to the larger document for more specific information.

In my mahi in the community I also receive daily feedback from local residents which is relevant to the plan, so has been included.

A small group of us were discussing the disestablishment of council services in order for them to make savings, such as the safe city ambassador programme. Your report states 'in the current environment we have made the decision to prioritise funding and resource to CCTV services and other safety initiatives.' The immediate response from a young woman in the group was "...but cameras don't talk to people!"

Jamie Dixon who is one of the regular safe ambassadors who visits the park as part of his mahi, has been a great example of connecting with people young and old in a variety of situations, to be a pre-emptive rather than reactive safety resource. From helping secure vandalised, damaged play equipment, assisting young people in group activities and discussing and brainstorming concerns raised by our older residents, Jamie is a hands on, empathetic and practical jack of all trades and valuable source of useful information.

We believe our communities need people like Jamie so that council are not disconnected to the recipients of their services. 'CAMERAS DON'T TALK TO PEOPLE'

Back in 2008 when we first engaged with council around the development of Walter Nash Park, we used their then long term plan addressing 'healthy environment' 'lifestyle' 'regional foundations and sense of place' as a vehicle to put our case forward. We worked alongside the council commissioned contractor 'PAOS' to compile a consultation document (see attached) and over the years I continued to refer to and highlight the important information collected and presented so professionally by Cheryl Robilliard from PAOS. It is still relevant in 2024.

Rather than forwarding countless letters and submissions this year, that report is attached in order to guide long term planning. It's all in there – safe places for group and community connections as well as creative pursuits is what our community continues to ask for.

.....and a final reminder 'Cameras don't talk to people!'

Please feel free to contact me if further information is required.

Ngā mihi

Sue Rei – Phone [REDACTED]



## COMMON GROUND 2024

**At its heart Common Ground is about building our community - connecting, playing, learning, belonging and growing wellbeing.**

Common Ground started with local residents of Pomare and Taita working together to lead the redevelopment of the Walter Nash Park site. Once the park was re-established as a safe, vibrant space, we started using the park as a common ground base. It is a space for connecting families and all the different people that make 'the village' who contribute to the nurturing of tamariki .

The park has become a place where families and organisations get active together, plan events and share knowledge, skills, culture, history, music and crafts. We are building a community of learning by combining old wisdom with new innovations and sharing resources and information.

Whānau wellbeing and restorative justice projects evolve alongside play and fun and we find solutions to local issues together.

### **Our Partners**

Everyone is invited to be part of this project – older people, rangatahi, children, parents and caregivers, cultural and faith groups, businesses, artists, schools, community services.

In 2024 we are being funded by Nuku Ora's Tū Manawa investment and the Department of Internal Affairs. Wesley Community Action is our fundholder and our partnerships with Hutt City Council and local community groups remain essential to the mahi.

### **Our Kaupapa**

How we do this work is really important. Manaakitanga and respect for all are our guiding principles. CollaborACTION, reciprocity, learning from doing, listening and strength-based practice are how we operate.

### **Nau mai Haere mai – Come and join us!**


Drop in to see us at Mokopuna– the little whare on the park courts. Or give Sue a call.

- We have a weekly play day in the park on a Wednesday from 10am to 5pm for everyone (all ages and stages).
- Free and easy access to gardening, sport and play equipment is available.
- We have a pātaka kai that is always open, where you give what you can and take what you need.
- Local groups who share our kaupapa are welcome to come and use the space.
- If you would like to contribute your ideas for community events and fun days- lets grow and imagine together.



# Common Ground

## Me Tipu Ngātahi

 Walter Nash Park - Common Ground

CONTACT Sue Rei



# Walter Nash Park

## Common Ground

Building a space that adds value to our community







1941

No park yet

## You've said what kind of park you want

\* A safe local park for all ages

\* An increase in the number and variety of play and recreational activities in the park even if they are available elsewhere for those who do not have the means to travel

\* Places for group and community gatherings as well as creative pursuits



1958

Tennis courts and pavillion

Bowling green, clubrooms storage shed

Gates at Tocker Street entrance

## You've said what you like about the park

big green open space many small entrances fruit trees  
 roly polly hill main entrance gates walnut tree pou  
 youth using the park trees open space for the community  
 possibility to return to its former glory in the centre of Taita  
 a community secret hidden away (people don't know everything about Taita)



1977

Specimen trees

Bowling clubroom extension

Housing at Tocker Street entrance

## You've said what you don't like about the park

no signage seclusion no flow between parts of the park  
 a dark hole in the suburb  
 derelict building lack of lighting uninviting and unsafe vandalism  
 overgrown trees and shrubs blocking sightlines  
 narrow access blocked by bedsits poor drainage  
 patchy grass derelict bowling area graffiti fences need upgrading  
 after dark activities



1995

Specimen tree planting

## You've suggested improvements

break up trees for sight lines open up the park  
 reduce barriers things people will use  
 challenging play – zipline/flying fox security lighting more car parking  
 upgrade courts for multi use  
 dog exercise with play, training and pet care tips  
 running track poo bags and poo bins  
 restrict cars from entering after hours scooter/bike track  
 play for toddlers fitness stations pump track self-sufficient park  
 using technology shade and shelter  
 build housing for the elderly general beautification  
 mothers and baby swing slides bins



2003

Specimen tree planting



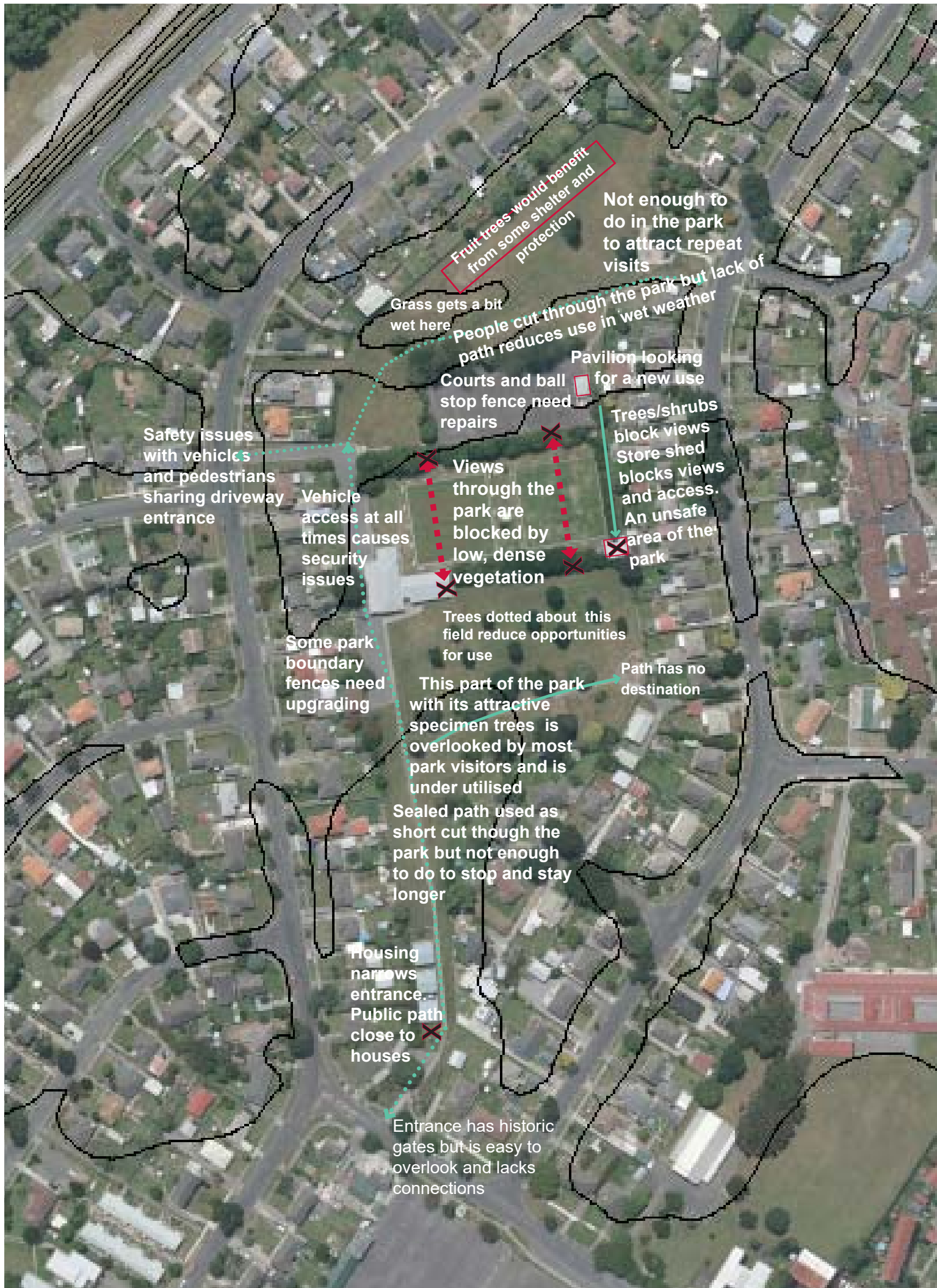
2013

Pou at Molesworth Street entrance, play and picnic area

Starting 2016

Common Ground

What is not working



Safety issues with vehicles and pedestrians sharing driveway entrance

Vehicle access at all times causes security issues

Some park boundary fences need upgrading

This part of the park with its attractive specimen trees is overlooked by most park visitors and is under utilised

Sealed path used as short cut though the park but not enough to do to stop and stay longer

Housing narrows entrance. Public path close to houses

Entrance has historic gates but is easy to overlook and lacks connections

Grass gets a bit wet here

Fruit trees would benefit from some shelter and protection

People cut through the park but lack of path reduces use in wet weather

Courts and ball stop fence need repairs

Views through the park are blocked by low, dense vegetation

Trees dotted about this field reduce opportunities for use

Not enough to do in the park to attract repeat visits

Pavilion looking for a new use

Trees/shrubs block views Store shed blocks views and access. An unsafe area of the park

Path has no destination

## What we need to do

### Make the park safe

- 1 The croquet club moves to the park bringing activity into the park during the day
- 2 The dart club brings use and activity into the park at night
- 3 Redevelop the courts for multi-use
- 4 New use for a developed pavilion
- 5 Close the vehicle entrance at night

■ Open views, remove shrubs, bushes and buildings that block visibility, conceal or isolate parts of the park

Keep the crowns of trees high for visibility under branches

— Safe places to walk with paths that connect entrances and activity areas and can be used by walkers, joggers, scooters, bikes, scaters. Activities and seats along the pathways

Involve park neighbours:

- • Develop park entrances with neighbours
- • Aim for quality boundary fences (low or slatted in places rather than solid) to help visibility
- Aim for tidy boundaries, crowns of trees on boundaries lifted and vegetation that conceals removed.



### More activities

■ Mixed activities for all ages family/whanau

- Activities under 5s
- Activities 6 - 12
- Activities for 13+
- Orchard and community gardens
- Picnicking/BBQs and overhead cover/shelter/shade

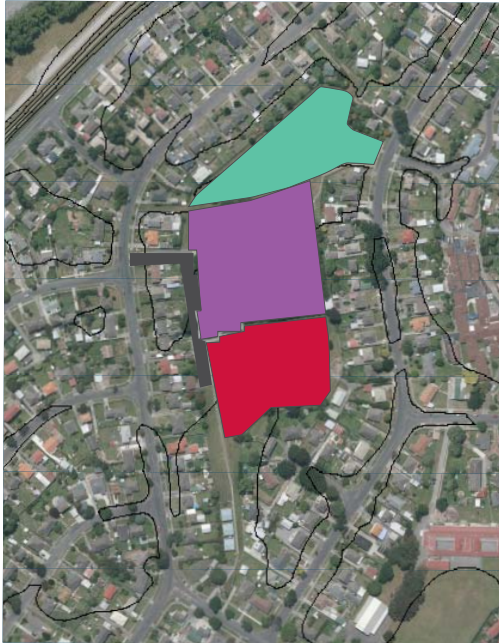
■ Skills development

- Croquet
- Darts
- Courts marked out and facilities for a range of activities
- Activities that develop fitness and skills along pathways

■ Flexible open space defined by specimen trees and pathways

- Space for ball games
- Space for dog exercise with training circuit
- Space for bike/scooter pump track

■ Vehicle access and car parking



### A more attractive, quality park environment

■ Orchard and gardens along path e.g. rongoā/medicinal/herb garden, flax for weaving, community gardens

● New specimen trees defining areas and pathways - crowns kept lifted to allow views under trees for safety. Tree species provide for birds and butterflies

Remove and develop shelter for croquet greens while restoring views between activity areas

Remove to open up views and let in space and the light. Quality boundary fence

✗ Remove for flexible open space for ball games etc



## The activities you said you would like



Courts for different uses  
(<http://www.sportcourt.com>)



Pump track for bikes and scooters  
<http://www.napier.govt.nz/napier/projects/completed-projects/2015/bike-pump-track/>



Fitness trail



Flying fox



BBQs and picnicking



Skating skills along paths



Tagging wall



Sand volleyball



More play activities



Croquet



Flax garden for weaving  
<http://3.bp.blogspot.com>



Dog exercise area with play, training and pet care tips



Drinking fountain <http://aetilley.co.nz>



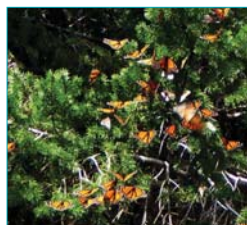
Swings for parents with young children



Activities along pathways e.g. table tennis  
(<https://davisla.wordpress.com/2012/07/25/burgess-park-old-kent-road-end-open/>)



Tidy up and brighten the gates and entrance from Tocker Street



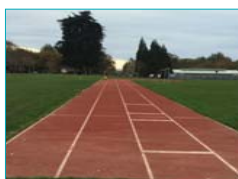
More plants and trees that attract butterflies  
(Walter Nash Park May 2016)



Posts for rugby and football



Paths for learning to ride a bike



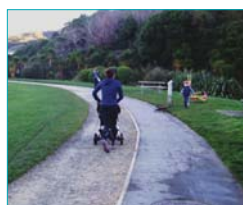
Running track



Seating and sheltered places to rest



Trees for climbing



Tracks with different surfaces for different users



Play for young children on the roly polly slope



Gardens with herbal/medicinal plants  
(<http://www.tuigarden.co.nz/school-garden-challenge/news/our-rongoa-garden/>)

## Stage 1 - A framework for the park



**Key**

- existing tree
- proposed tree
- existing garden
- proposed garden
- asphalt path
- lime chip path
- concrete path

Make the park safe

Bring in more activities

Make a quality, more attractive park

Trees around the old bowling greens remain in the short term but shrubs below the trees immediately removed to create sight lines from one side of the park to the other. In preparation for croquet use of the greens, trees are replaced with shrubs orientated to protect the new croquet greens from prevailing winds and at the same time allow views between parts of the park. These windbreaks could include flax for weaving.

Derelict buildings removed (used by former bowling club and not needed for croquet) along with the deteriorating fence around the courts. This will increase visibility and access, help improve quality and make the park more attractive and safer.

New paths connecting all parts of the park, activities and neighbouring streets - distance markers, 2 and 3 metre wide asphalt paths and 2 metre wide softer surface lime chip paths for walking, cycling and skating around the park. Activities along the paths to be developed in consultation with the community. The community have asked for lights along the path between Reynolds and Molesworth Streets.

Pavilion with new users, a deck with overhead shelter to extend use and 'eyes on the park' and a drinking fountain.

A new gate at the Reynolds Street vehicle park entrance closed at night for security.

Garden framework around the existing fruit tree avenue. Themes for gardens to be developed with the community e.g. food production, herbal/medicinal/rongoā garden, culturally significant or ornamental gardens that reflect the cultural diversity of the local community, butterfly garden to support lifecycle of butterflies (Monarch butterflies winter-over in the park).

A wider entrance from Molesworth St - materials to represent adjoining paths (concrete, lime chip, asphalt and paving to bring colour and texture). Existing pou, rocks, central path and gardens highlighted.

Restored entrance gates on Tocker Street, large Macrocarpa and shrubs removed and replaced to bring more light and make the entrance more distinctive and inviting.

## Next Steps - Building on the framework

The Council, together with Great Start, work with the community to get the space you've said you want:

\* A safe local park for all ages

\* An increase in the number and variety of play and recreational activities even if they are available elsewhere for those who do not have the means to travel

\* Places for group and community gatherings as well as creative pursuits.

### Examples of activities

- ① Themes for the gardens - they may produce food, be culturally significant or ornamental and support the life-cycle of butterflies
- ② A sand volleyball court for family/whanau activities; a fun activity to watch and play
- ③ Extension to the playground to make use of natural shade in summer with new activities for young children and their whanau
- ④ The roly-poly slope with a wide slide that adults can use with their children, steps and a rope climbing system. Rocks placed around these activities create natural climbing and jumping opportunities
- ⑤ A flying fox from the top of the roly-poly slope is a draw card to bring children to the park and increase the diversity of play activities available
- ⑥ Area between the pavilion and the family/whanau area with BBQs and large community picnic tables to welcome people to the park. The area looks out over the play areas so parents can keep an eye on their children as they play
- ⑦ Refurbish the courts for multi-use. Add a tagging wall
- ⑧ An field created by removing poplar trees and adding facilities like football and rugby posts, possibly a running track for practice and skill development (and drainage if necessary)
- ⑨ A pump track for new and experienced riders to practice their skills and have fun with friends
- ⑩ The dog exercise area with signage displaying tips for training and play ideas for your dog
- ⑪ Along paths - exercise and/or fitness equipment, skating and biking skill development

Work with neighbours on better quality boundary fences. Opportunity to work with local artists on fence murals

**Key**

- existing tree
- proposed tree
- existing garden
- proposed garden
- asphalt path
- lime chip path
- concrete path



3 May 2024

To: Hutt City Council

By email

**Submission on the Hutt City Council's Draft Development Contributions Policy 2024 on behalf of the Retirement Villages Association of New Zealand**

1. The Retirement Villages Association of New Zealand (RVA) is a voluntary industry organisation that represents the interests of the owners, developers and managers of registered retirement villages throughout New Zealand. The RVA was incorporated in 1989 by a group of entrepreneurs to:
  - 1.1. represent the interests of retirement village owners, developers and managers;
  - 1.2. develop operating standards for the day-to-day management of retirement villages; and
  - 1.3. protect their residents' wellbeing.
2. New Zealand has more than 460 registered retirement villages and 96% by unit number are members of the RVA. The RVA's members include all five publicly-listed companies (Summerset Group, Ryman Healthcare, Arvida Group, Oceania Healthcare, and Radius Residential Care Ltd), other corporate groups (such as Metlifecare, Bupa Healthcare, Arena Living, independent operators), and not-for-profit operators (such as community trusts, religious and welfare organisations).
3. The RVA welcomes the opportunity to provide feedback to the Hutt City Council on its Draft Development Contributions Policy 2024.
4. Retirement villages play a key role in addressing the housing crisis, and the retirement living and aged care crises. Retirement village developments have a higher population density than traditional residential development. The development of affordable retirement village dwellings, such as those provided by RVA members, reduces land demand pressure and makes further residential housing available as new village residents release their properties to the market.
5. This increase in housing supply helps to relieve pressure on the housing market and contributes towards improved housing affordability in the long term. Affordable housing and the realistic prospect of home ownership for younger generations provides the opportunity for more secure accommodation than renting, and long-term investment opportunities.

6. Retirement villages also have benefits in reduced transport demand from residents, consequential reductions in the use and demand for infrastructure, and climate benefits resulting from the overall density of villages and the aforementioned transport benefits.
7. The RVA wishes to express its support for the submission of Summerset Group Holdings Limited in its entirety. The RVA requests the Hutt City Council engages constructively with Summerset in relation to the Draft Development Contributions Policy.

**Signed:**



On behalf of the Retirement Villages Association of New Zealand

Date: 3 May 2024

**Address for Service:**

The Retirement Villages Association of New Zealand  
PO Box 25-022  
Wellington 6146

**Contact's Details:**

Attention: John Collyns - Telephone: [REDACTED]

Email: [REDACTED]



## Long Term Plan Submission – L Skilton

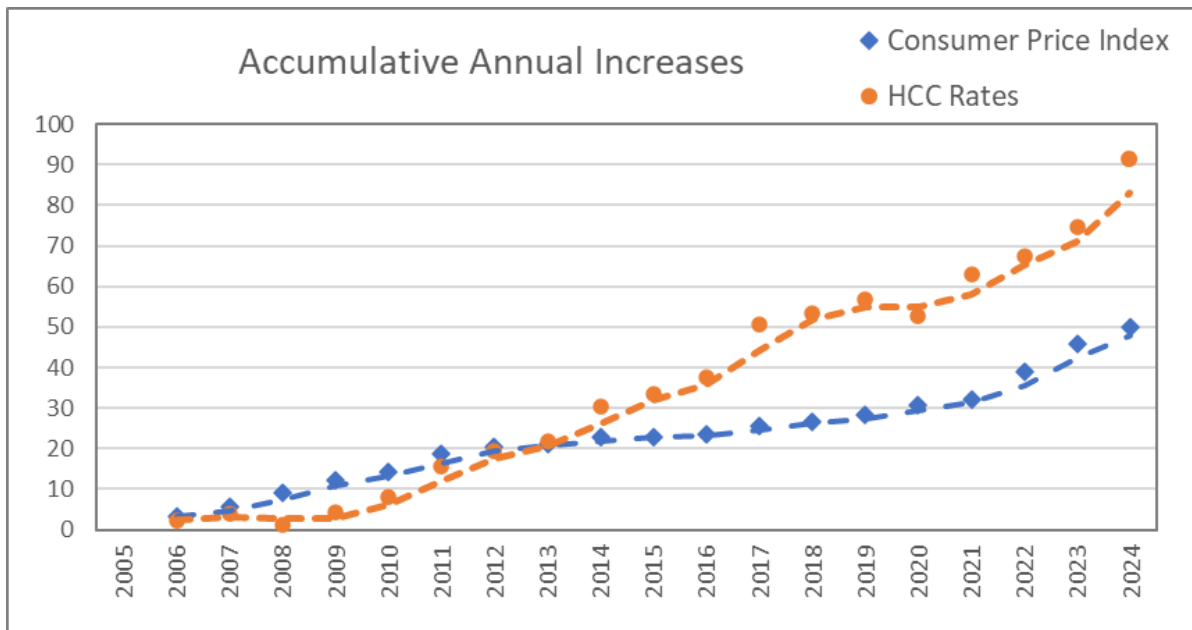
I am a resident of Petone. I have lived in my present house since the early 1990's.

### Rates Increases

Petone rates has increased substantially over the past 10 years, even when Council was keeping rates low. This is due to the relative house price increasing in Petone faster than other suburbs.

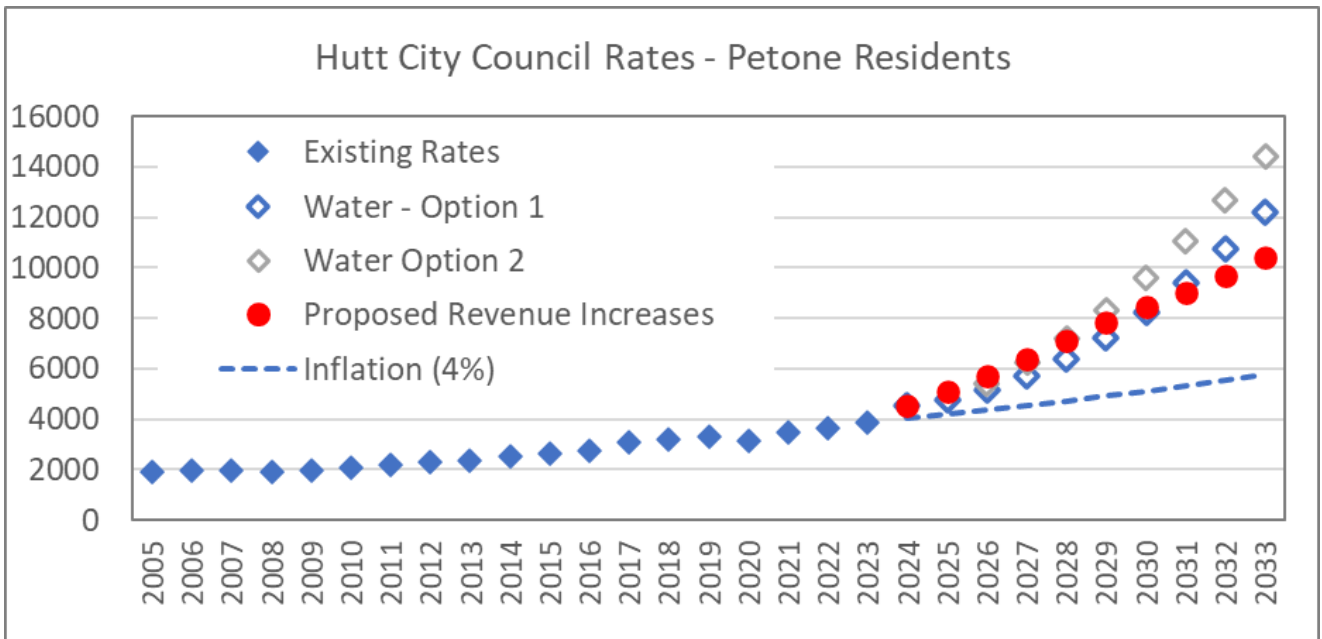
I have spoken twice at Council annual plan meetings in the past. On both occasions I raised the significant increases that Petone residents faced, and also asked Council to spend our rates money on infrastructure, in particular underground, rather than the now built convention centre and subsidising a now built hotel. This spending by previous Councillors was reckless and not sustainable. I want to say "I told you so". I am aware that some of the Councillors who made those decisions are still on Council now.

Rates increases are out of control. My rates have gone up from \$1900 in 2005 to an estimated \$4550 next year. The accumulative annual rates increase, and accumulative Consumer Price Index are graphed below. Until 2014, my rates increases were similar to the CPI increases, however since then the increase between the rates increases and CPI is growing. This trend is not sustainable and is projected to get worse.



Overpage is a graph showing my existing annual rates since 2005 with blue diamonds. I have also shown the estimated rates based on the percentage increase of the revenue increase on page 41 of the consultation document. This is shown with the red dots. Separately, I have estimated the actual rates increases proposed based only on the "additional rates" from the four options that Council has asked us to submit on, namely Water Option 1 (rates increase pro rata from \$49 to \$1245 in 2033/34 from a 2023/24 base), Water Option 2 (rates increase pro rata from \$49 to \$3,423 in 2033/34 from a 2023/24 base), plus the additional organics collection and rate relief costs, noting that the Petone Asset spend will increase debt and is not an addition to rates. Together, just these, are higher than the proposed rate increases.

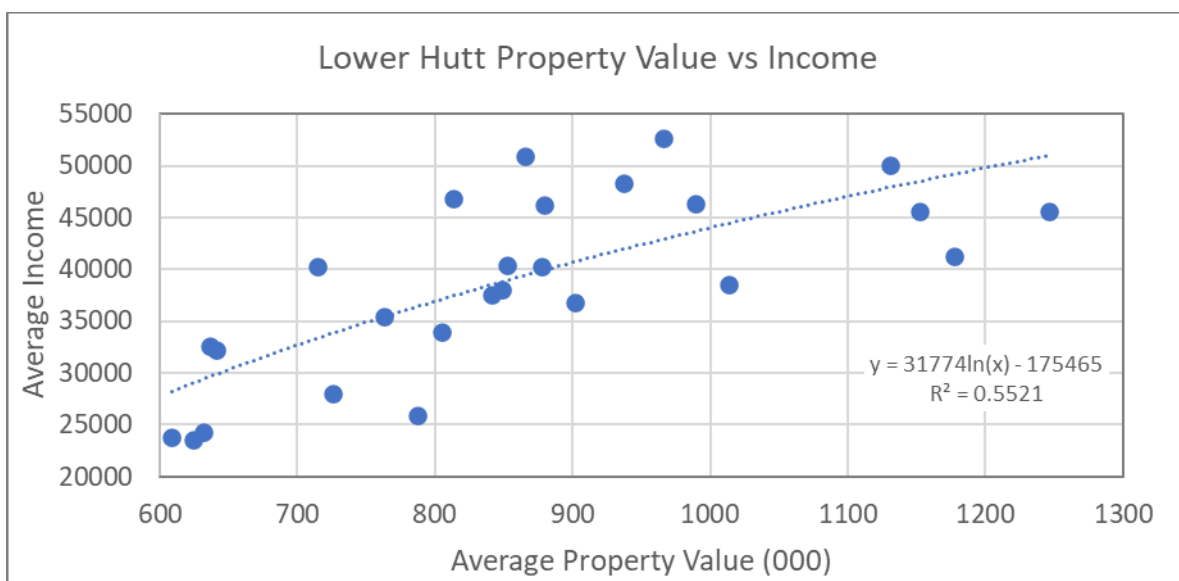
The Government is trying to keep inflation below 4%. Most salaries, particularly those on the government pension are based on inflation. Personally, I have not had a salary increase for several years and I know others in this situation also. Therefore the high rate increases are totally unsustainable.



The graph raises three very important questions. First – is the information provided in the consultation document correct? If Council can keep rates to the “red dots” then what other cuts does Council intend to make over the next 10 years?

Second – how are the residents of Lower Hutt going to afford rates that are 2.5 times the rates they are paying today? This does not include Regional Council rates or other cost increases.

Third – as we have seen in the past, suburbs that have a property value increase higher than the average increase get a much higher percent increase in their rates. Therefore, the future rates for a particular suburb could be significantly more. As I have said in my Annual Plan submissions 7 years ago, the Council rating system needs to be changed so the fixed portion is larger and the portion based on house value is smaller. At the time I showed that the income and property value is not a linear line. I have updated this and provide it below. The line of best fit is logarithmic. An  $R^2$  of only 0.55, shows there is not a strong correlation between property value and income.



Data Source: <https://www.opespartners.co.nz/property-markets/wellington> (March 2024)  
<https://www.stats.govt.nz/information-releases/statistical-area-1-dataset-for-2018-census-updated-march-2020/>

Page 40 of the consultation document states 'everyday costs are paid for from everyday income'. I consider that the rates increases that are proposed can not be met by 'everyday income'. The rates revenue increases shown on page 41 conveniently uses the percent increase, which reduces over time, but due to the base getting bigger, it does not tell a true story.

Council is introducing a rates remission for people on limited income. I do not own a car, yet 18 percent of my rates is for roads. Is Council considering how to have a fairer way to invest in roading infrastructure?

### **Poor Investments**

Councillors have made poor investment decisions in the past, we need to stop this moving forward. Council should not be speculating with fundings received through rates. They need to stick to the core business of running a Council.

A Council is effectively a large business. Businesses re-invest in their product, not "feel good items". For example, if you were a bakery, you would maintain your oven and ensure you had good ingredients. You would not invest in luxury items like artwork for the walls or a new stereo system unless cash was flowing. I feel that Hutt City has invested poorly in the past and now that the oven is broken they are proposing unsustainable rates increases. The bakery can't simply charge more for its buns as customers will go elsewhere, but rate payers do not have these options.

This Council needs to set an example for the future and concentrate of core business. No extras. No frills.

### **Water Infrastructure**

I fully agree that Council needs to invest in water, however nearly 50 percent of all our rates will be spent on water. The new Government has told the New Zealand Transport Agency to reduce the costs for temporary traffic management. I know that this is around a quarter to a third of all new roading projects and maintenance. I therefore hope that the cost of upgrading our pipes is lower than what is forecast.

I do not support water meters. While they may reduce water usage and be more user pays, the cost of \$78M for 37,000 households does not seem like a good investment. At around \$2,000 per household, that's half of my annual rates. I think it is more wise to spend that money on pipe renewals.

The increased cost for Option 1 is total unsustainable, with an increase in rates of \$1,245 per household in 2033. Option 2 is simply ridiculous. I consider that a reduced Option 1 is required as rates will be unaffordable in 2035. Alternatively, Council must find additional savings elsewhere. Refer graph at the top of page 2.

### **Organic Collection Service**

Despite having a relatively small garden, I am nearly 100% self sufficient growing vegetables. I do not have any food waste. I compost. I totally object to increased collection costs.

I support Option 2 – stay as we are.

### **Rates Relief**

While it sounds nice, to have rates relief for low income families, Hutt City Council is not a social service. There is already a rates differential based on value of property. I am also concerned that over time, as rates increases due to your proposals, that the proportion of people unable to pay their rates will increase.

I think Council needs to seriously re-think this as I think it will cost more than the estimates.

I support Option 2 – stay as we are.

## **Petone**

I feel Petone has been singled out in this LTP consultation as the four issues being specifically consulted on are Water Services, Organic Collection, Rates Relief and Petone Assets. The total costs for the Petone Assets are \$18m, however Council has not undertaken targeted consultation on other major projects, such as Riverlink (\$180m), Point Howard Shared Path (\$80m), Eastern Hutt Road (\$46m), Naenae pool (\$68m), Cross Valley Connection (\$189m), Water meters (\$78m).

As a Petone resident, I feel that the Petone assets have been singled out to encourage the rest of Lower Hutt to say “no” despite the fact that these assets are only in poor condition due to underfunding of maintenance in previous years. That being said, I consider that cost savings (to rate payers) can be made on these projects also.

## **Petone Library**

At this point in time, Council can not afford to re-build the library. The heritage part of the library should be relocated into a different building to ensure that the artifacts it contains remain in good condition. The rest of the library can remain as it is.

## **Petone Recreation Ground**

When the Petone grandstand was open (pre earthquake) it was hardly ever full to capacity. The probability of an earthquake happening is very low and the probability of an earthquake happening while the grandstand is occupied is extremely low. Allow users to “use at their own risk”.

Changing rooms and seating should be paid for by the sports groups that use these facilities, not the general rate payer.

## **Petone Wharf**

The Petone wharf is an iconic feature of the entrance to Lower Hutt. It should be kept.

I understand that demolishing cost is high due to consenting issues, as the wharf has a heritage listing on it. However, I also consider that the maintenance costs are overcooked. While it was closed and engineering reports were being done, we frequently saw trucks on the wharf. If the wharf can hold a truck, then it can hold a few fishermen and divers.

Prior to the Queensgate earthquake strengthening there was a red sticker on the main entrance stating the low earthquake rating. It was lower than Naenae pool. However, shoppers entered the mall by the thousands on a daily basis.

My preferred option is to reopen the wharf with a sign warning people to use at their own risk. No money needs to be spent on it.

## **Point Howard Shared Path**

The consultation document is not clear how much of the \$80m project is resilience and how much is the shared path. The resilience project will get FAR subsidy from NZTA, however the shared path is unlikely to. Council should consider scaling this project back.

## **Cross Valley Connection**

The new Government has included this project in the GPS as a RONS. Therefore, it will be 100% funded by the crown. The \$190m should be removed from Councils finance sheets.

If the project gets removed from the RONS, then Council should not construct this until the water issue is resolved and the rates burden is reduced.

## **Cycleway and micro-mobility programme**

This is a nice to have, but at \$60m, I consider that this should be removed until the water issue is resolved and the rates burden is reduced.

## **Subdivision Roding Improvements**

I totally disagree with existing ratepayers subsidising new roads to provide access to new housing areas. This should be funded by the developers. If new housing is not created, then the population and infrastructure pressures that increase population brings will be reduced.

With the proposed rates increases, I suspect that more and more people will leave the Wellington region and relocate to places where house prices are lower, but also rates are lower.

## **Riverlink**

I support parts of the Riverlink project. I support the Regional Council component for increased stop bank protection, and I support the NZTA component for the upgrade of Melling interchange, however I strongly oppose the investment that Hutt City is making for a “promenade” on the riverbank and other incentives to “revitalise the city centre”. Council needs to stick to the core projects. The promenade is a nice to have. Any projects to revitalise the CBD should be paid fully by the business sector, not residents.

The way people shop has dramatically changed in recent years. A city centre is no longer where people do their business as more and more things are done online. Trying to change this is impossible and Council should not get involved in trying to reverse this trend, especially when rate increases are unsustainable.

Council has a proven track record of trying revitalisation projects that have failed. The carpark building, the gym at Walter Nash stadium, the convention centre and subsidising a five star hotel. Council needs to stick to its core business of infrastructure renewals and not invest in development projects. Council must pull in the reins on the promenade and CBD revitalisation.

## **Parking**

To encourage public transport, and reduce congestion, parking fee increases should be higher, particularly daily fees. If Hutt City wants to reduce carbon emissions, then this is where it should occur.

Introducing parking meters on Jackson Street will have a cost, so I hope this has been factored into the proposal. Parking issues are already a problem on many residential side roads to Jackson Street, and charging is likely to increase this. I strongly recommend that, if parking meters are to be introduced to Jackson Street, then no parking lines are painted across all driveways on the adjoining residential streets as Jackson Street visitors already park poorly and block driveways.

## **Other Transport Infrastructure**

If Council does not get FAR assistance in the NLTF then Council should defer all transport projects until such time when the subsidy is available.

## **Continue to Trim**

The proposals for reducing our rate increase are not enough. Council needs to consider other reductions, including possible staff reductions, reduced levels of service and only core business spending.

Thank you for taking the time to read my submission.



L Skilton 3 May 2024

**From:** Peter PSOP [REDACTED]  
**Sent:** Friday, April 12, 2024 12:45 PM  
**To:** haveyoursay <haveyoursay@huttcity.govt.nz>  
**Subject:** [EXTERNAL] 10 year plan submission

Here are in brief the key points I think the council needs to consider

1. **Get expenditure under control.** Particularly, stop large projects like swimming pools, cycle paths and other “nice to have projects” Stick with the basics and fix the water and waste infrastructure.
2. Stop resealing perfectly good street surfaces with lower grade chip seal. Our street was perfectly good and yet got resealed and in my view is now actually worse. Not only a waste on money but the loose tar covered chips are still damaging cars and carpets over a year later! This has been repeated all over the city.
3. Stop housing intensification (in fill, high rise housing) This might meet a housing need, but long term it will detract from the character of the city and produces huge parking and traffic congestion issues. Opening up new land in undeveloped areas should be the priority
4. Keep rates increases down – cut whatever costs needed to keep this a priority, even cut staff numbers if necessary.

Thank you

Peter Snethlage





**Submission by the  
Royal New Zealand Society for the  
Prevention of Cruelty to Animals Inc.**

**on**

**Hutt City Council  
Long-Term Plan 2024-2034**

03 May 2024



## **Executive Summary**

- SPCA is concerned with a recent decrease in the number of companion cats that are desexed, only half of companion cats are microchipped, and very few are kept at home and prevented from roaming.
- Desexing and microchipping companion cats helps protect cat and kitten welfare and are some of the few tools we have for addressing stray cat problems in our communities.
- The cost of the procedures is the most common barrier for companion cat owners to desex and microchip their cats.
- Our Snip 'n' Chip programme offers subsidised desexing and microchipping for people who need help with overcoming the cost of the procedures.
- We have included our Snip 'n' Chip Council Package with more detailed information about how we work with local councils to promote more responsible cat ownership.
- Through this submission, we invite the Hutt City Council to help us achieve more responsible cat ownership by supporting our Snip 'n' Chip programme.





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## Introduction

The following submission is made on behalf of The Royal New Zealand Society for the Prevention of Cruelty to Animals (trading as SPCA).

SPCA is the preeminent animal welfare and advocacy organisation in New Zealand. The Society has been in existence for over 150 years with a supporter base representing more than 100,000 New Zealanders across the nation.

The organisation includes 29 Animal Welfare Centres across New Zealand and approximately 60 inspectors appointed under the Animal Welfare Act 1999.

SPCA welcomes the opportunity to submit on the Hutt City Council Long-Term Plan 2024-2034.

## Submission

SPCA thanks the Hutt City Council for the opportunity to contribute to the Long-Term Plan 2024-2034 consultation. Through this submission, we invite the Hutt City Council to help us achieve more responsible cat ownership by supporting our subsidised desexing and microchipping programme, Snip 'n' Chip.

### ***New Zealand needs more responsible cat owners***

Cats are one of New Zealand's most popular companion animals. SPCA supports responsible ownership of companion cats to promote cat welfare and reduce problems with cat overpopulation. SPCA is concerned with a recent decrease in the number of companion cats that are desexed, only half of cats are microchipped, and very few are kept at home (Companion Animals New Zealand, 2020).

Each year, on average 20,000 cats and kittens come into our Centres. Many of these animals are directly or indirectly (through stray cat populations) a result of an owner failing to desex their



companion cat. Our SPCA Centres regularly see the welfare problems related to irresponsible companion cat ownership, including:

- the predictable cycle of unplanned litters of kittens born each year because there are too many undesexed companion cats allowed to breed; and
- the number of cats and kittens who are lost or have strayed, and we cannot find their owner because they are not microchipped, or their microchip details are not registered on a national database.

We also know that irresponsible cat ownership can lead to nuisance in communities (e.g., spraying, toileting, fighting), predation on wildlife, and the spread of toxoplasmosis to people and animals including farmed animals and vulnerable native marine mammals (e.g., Hector's and Māui dolphins).

Desexing and microchipping companion cats are some of the few tools we have to address problems with stray cats in our communities. Desexing a companion cat helps prevent unplanned litters of kittens which can end up as stray cats. Having a microchip registered on the New Zealand Companion Animal Register can help us identify an owner to reunite with a lost companion cat that may be living as a stray.

The cost of the procedure is the most common barrier for companion cat owners to desex and microchip their cats (Companion Animals New Zealand, 2020).

### ***Support more responsible cat ownership***

Our work in New Zealand communities to increase the number of cats and kittens that are desexed and microchipped is fundamental to our mandate to prevent cruelty and advance animal welfare. We provide more details on the welfare benefits of desexing and microchipping cats in the Background section of this submission.

Our Snip 'n' Chip programme offers subsidised desexing and microchipping for people who need help with overcoming the cost of the procedures. SPCA works closely with local veterinarians to



provide this service. The vouchers 'sell out' quickly once they are available, indicating this is a much sought-after service in communities.

SPCA has worked closely with Whangārei District Council, Auckland Council, Waitaki District Council, Dunedin City Council, and four Auckland Local Boards to address the barriers to desexing and microchipping cats.

We invite the Hutt City Council to join us in our efforts to prevent problems before people end up dealing with difficult decisions about unwanted cats and cat behaviour in their communities.

We have included our Snip 'n' Chip Council Package with more detailed information about how we work with local councils to promote more responsible cat ownership.

## Background

SPCA advocates for more responsible ownership of companion cats to improve the welfare of cats and to help address the problems with community nuisance, predation, and the overpopulation of stray cats.

### ***Welfare-related benefits of desexing cats***

Desexing can reduce the risk of certain diseases, reduce the likelihood of roaming (which can increase risks of harm such as disease and infection, injury, and becoming lost), and increase lifespan. Desexing can also prevent the mortality of unplanned kittens which is often overlooked as a welfare problem.

**Table 1: Welfare-related benefits of desexing cats**

Decreased risk of reproductive disease
<ul style="list-style-type: none"><li>• Mammary gland tumours are common in cats:<ul style="list-style-type: none"><li>○ 16.3% of all tumours are in the mammary gland in an Italian registry, making this the second most common tumour site (Vascellari et al., 2009).</li></ul></li></ul>



- 17% of all cancers reported were in the mammary gland in a California registry (1963-1966) making this the third most common cancer (Dorn et al., 1968).
- 8.2% of tumours in a Swiss feline cancer registry (1965-2008) were mammary gland tumours (Graf et al., 2016).
- Japanese and Siamese breeds are at increased risk of mammary tumours (Graf et al., 2016; Ito et al., 1996).

- Mammary tumours in cats have a high risk of being malignant:

- >90% of mammary gland tumours in cats are malignant (Dorn et al., 1968; Hampe & Misdorp, 1974; Hayes et al., 1981).
- A more recent study with a Swiss feline cancer registry found that 83% of mammary tumours were malignant (Graf et al., 2016).

- Desexing is protective against mammary tumours in cats:

- Sexually intact cats have seven times the risk of developing mammary gland neoplasms when they get older compared to spayed female cats (Dorn et al., 1968).
- Ovariectomy was found to protect against mammary carcinomas but not against benign mammary tumours. Intact cats are seven times overrepresented in the population of cats diagnosed with mammary tumours (Misdorp et al., 1991).
- Desexed female cats had significantly lower odds than entire female cats of developing tumour/malignant tumour in the mammary gland (Graf et al., 2016).
- Desexing before one year of age is protective against mammary carcinoma: 91% risk of reduction if desexed before 6 months, 86% reduction if before one year. Desexing after two years increased the risk (likely due to very few cats being desexed after this age) (Overley et al., 2005).

- Pyometra (uterine infection) risk increases significantly with age for female cats (Potter et al., 1991).

### Increased lifespan and improved overall health

- Undesexed companion cats have significantly shorter lifespans than desexed companion cats (Hamilton et al., 1969; Kent et al., 2022; O'Neill et al., 2015).



- Being undesexed is a risk factor for cats developing degenerative joint disease (Lascelles et al., 2010; Slingerland et al., 2011), which is considered a leading cause of pain in cats (Robertson et al., 2010).
- Improved health for both male and female cats in managed colonies may be related to reduced reproduction-related aggression in males (Cafazzo et al., 2019; Finkler et al., 2011).
- Desexed male cats live a mean of 62% longer than undesexed male cats, and desexed female cats live a mean of 39% longer than undesexed female cats (Banfield Pet Hospital, 2013).
- For companion cats over five years of age in an English veterinary database, desexed female cats lived .6 months longer than undesexed female cats and desexed male cats lived 1.8 years longer than undesexed male cats (O'Neill et al., 2015).
- For companion cats over 1 year of age in a California teaching hospital database (Kent et al., 2022):
  - desexed females had a median lifespan of 10.48 years, compared to undesexed females that had a median lifespan of 4.68 years.
  - desexed males had a median lifespan of 9.84 years, compared to undesexed males who had a median lifespan of 3.67 years.
- For companion cats over the age of five years of age in a Pennsylvania database (Hamilton et al., 1969):
  - desexed male cats lived a median of 10.8 years compared to undesexed males who lived a median of 8.6 years. Deaths from trauma and infections were less common in desexed males.
  - male cats desexed before the age of five months, had a median lifespan of thirteen years compared to male cats desexed at six to seven months who had a median lifespan of eleven years.
- Cats at least six years of age and not desexed in an English database were twice as likely to have signs related to degenerative joint disease (Maniaki et al., 2021).
- Desexed stray cats were in better welfare condition compared to intact cats likely due to reduced reproduction-related aggression in males (Gunther, et al., 2018).



- Desexed male and female cats in a TNR (Trap Neuter Return) managed colony were less likely to be injured or have impaired health which may be related to decreased risk of infectious disease, nutritional deficiencies, and stress associated with reproduction (Gilhofer et al., 2019).

#### Decreased roaming risks

- Intact male cats are at higher risk of traffic accidents, injuries, bite wounds, and disease transmission compared to desexed males (Finkler et al., 2011; Gunther et al., 2015; 2018).
- Roaming (and fighting and spraying) reduced or eliminated in 80-90% of cats (Hart & Cooper, 1984).
- Desexing reduces activity related to territorial behaviour. Authors note cats are less active, which they do not specify includes roaming (Cafazzo et al., 2019).

#### Improved kitten welfare

- Unplanned kittens contribute to high numbers of animals surrendered to shelters. Kittens under the age of six months made up the largest proportion of owner-surrender cats to an animal shelter in Australia; 34% of all owner-surrendered animals were emaciated (Marston & Bennett, 2009).
- Kittens that enter the shelter system because they are from unplanned breeding can often be in a poor state of welfare. This is before shelter entry and not related to shelter stay. An average of 30% of kittens that came into SPCA Centres are categorised as not healthy at intake. Not healthy categories include Dead on Arrival; Unhealthy not treatable; Unhealthy treatable (urgent); Unhealthy treatable (non-urgent) (SPCA Intake Health Data: Jan 2021-Jul 2023)
- Free-roaming kittens had the highest prevalence of emaciation and thinness, lowest BCS (Body Condition Score) scores, and higher prevalence of severe injury or disability than adults. (Gunther et al., 2018).



- There is high variability among kitten mortality in stray cats, however, at least one study showed 75% mortality before six months, with trauma being the most common cause of death (Nutter et al., 2004).

***Welfare-related benefits of microchipping cats***

SPCA prefers microchipping as the primary form of identification for a cat because the chip cannot be removed, dislodged, or lost without surgical intervention. Once a cat is microchipped, the 15-digit microchip number and the animal and owner’s details can be registered with a microchip registration database, such as the New Zealand Companion Animal Register (Companion Animals New Zealand, 2018). Microchipping helps ensure a lost cat can be reunited with their owner, which can be especially true during emergencies.

**Table 2: Welfare-related benefits of microchipping cats**

Welfare-related benefits of microchipping
<ul style="list-style-type: none"><li>• During the 2011 Christchurch earthquake, 85% of owners of microchipped animals were contacted within 3 hours by the New Zealand Companion Animal Register, compared to only 25% of non-microchipped animals reunited with their owners within seven days (Companion Animals New Zealand, 2018).</li></ul>
<ul style="list-style-type: none"><li>• 39% of microchipped cats were returned to their owners, compared to 2% returned for un-microchipped cats (Lord et al., 2010).</li></ul>
<ul style="list-style-type: none"><li>• 51% of microchipped cats were returned to their owners compared to only 5% of un-microchipped cats (Lancaster et al., 2015).</li></ul>

The addition of a collar and tag for companion or managed stray cats can provide a visual indication of a cat’s ownership/management status and successfully help reunite lost cats with their owners/carers (Alberthsen et al., 2013; Lord et al., 2007, 2010).





### ***Other benefits of responsible cat ownership***

More responsible cat ownership can reduce the negative impacts cats can have including nuisance, predation on native wildlife, and spread of toxoplasmosis to both native animals and pastoral animals. Desexing and microchipping are longer-term strategies that will address problems with the overpopulation of cats and keeping cats at home can provide immediate local benefits for reducing nuisance such as spraying and toileting on neighbouring properties and reducing predation. Preventing cats from defecating away from home can also contribute to a reduction in the spread of toxoplasmosis to other animals and people.

**Table 3: Other benefits of responsible cat ownership**

Benefits of responsible cat ownership
<ul style="list-style-type: none"><li>• Reduced risk of toxoplasmosis transmission to farmed animals (Aguirre et al., 2019; Stelzer et al., 2019).</li></ul>
<ul style="list-style-type: none"><li>• Decreased risk of toxoplasmosis transmission to native wildlife (Aguirre et al., 2019).</li></ul>
<ul style="list-style-type: none"><li>• Decreased predation on native wildlife (Bell &amp; Bell, 2003; Bellingham et al., 2010; Dowding &amp; Murphy, 2001; Imber et al., 2003; Veitch et al., 2011).</li></ul>

## **Conclusion**

Supporting more responsible cat ownership by subsidising the cost of desexing and microchipping cats helps protect cat welfare, breaks the cycle of unplanned kittens born each year, and reduces the number of cats and kittens that either end up in our Centres or remain as stray cats in our communities.

SPCA appreciates the opportunity to contribute to the Hutt City Council's Long-Term Plan consultation. SPCA is happy to provide further information if needed.



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**SPCA**® *snip'n'  
chip*



## PROMOTING DESEXING AND MICROCHIPPING IN YOUR COMMUNITY

Snip n Chip is a desexing and microchipping service aimed at reducing the number of unwanted and unowned cats — a humane solution for the feline population and welfare management.

Launched nationally in 2022, SPCA's Snip n Chip offers low-cost, accessible desexing and microchipping for cat owners who need it most.

SPCA values working with local councils to increase the number of desexed and microchipped animals in their area and promote responsible pet ownership.

## What is Snip n Chip?

- Available through an online system where owners can obtain a voucher to desex and microchip their cat at a heavily discounted rate.
- Designed to educate and promote responsible companion animal ownership by encouraging owners to desex and microchip their animals.
- Encourages owners to develop positive relationships with their local veterinary clinics.

## What are the benefits for Councils?

- Promote compliance with Councils cat bylaws
- Reduction in abandonment and euthanasia of cats
- Reduction of feline behaviour issues in the community – noise, fighting, breeding
- Ability to target specific suburbs within the Councils region
- Reduced complaints from residents
- Positive community relations
- Demonstration of commitment to humane reduction of stray, unowned, or unwanted cats and kittens.
- Please see our desexing website for more benefits to both Councils and members of the public <https://desexing.sPCA.nz/councils>

## What does the service cost for Councils?

- A set price for each surgery and microchip
- Run as many campaigns as your budget will allow
- Administration and marketing support included
- Regular reporting to allow for greater transparency and reporting back to constituents and councillors

## What have been the results?

Since launching in February 2022

- We have desexed 18,947 cats across numerous campaigns
- We estimate this has prevented 75,788 unwanted offspring
- Campaigns selling out in as little as one day
- Positive feedback from local communities for Councils participation
- Four councils and five local board partners have supported Snip n Chip campaigns in their communities

## What has been the feedback?

### **Dr Imogen Bassett, Principal Advisor Biosecurity, Auckland Council**

*Desexing and microchipping are an important part of our responsible cat ownership work in Tāmaki Makaurau. As the fence at the top of the cliff, snip and chip is good for cats, wildlife, and people. Working together with the SPCA, we can share responsible pet ownership messages with more Aucklanders. The SPCA's online system and helpful staff have made it really easy for us to prioritise our support towards areas with threatened species in need of protection from cats.*

### **Waitaki District Council**

**Regulatory Manager Andrew Bardsley** said *“As well as the benefits for cat owners, Snip ‘n’ Chip will have an impact in the community in terms of a reduction in unwanted breeding and the number of orphaned or feral cats. Animal welfare is at the centre of this campaign, with the added benefits of a reduction in nuisance caused by cats and the ability for lost pets to be reunited with their owners through their microchips. The SPCA team’s work is extremely challenging and demanding, so it’s great that Waitaki District Council has been able to contribute towards this partnership and hopefully to reduce some of the cat welfare issues in Waitaki”*

**Communications Team member Sonia Martinez** said *“Our residents were really supportive of the campaign and we had lots of positive feedback saying it made a big impact on their ability to get their pet spayed and microchipped. Lots of sharing and engagement on social media not only resulted in the vouchers selling out super quickly but also helped spread the message of responsible cat ownership throughout the district”.*

## Cat owner feedback:

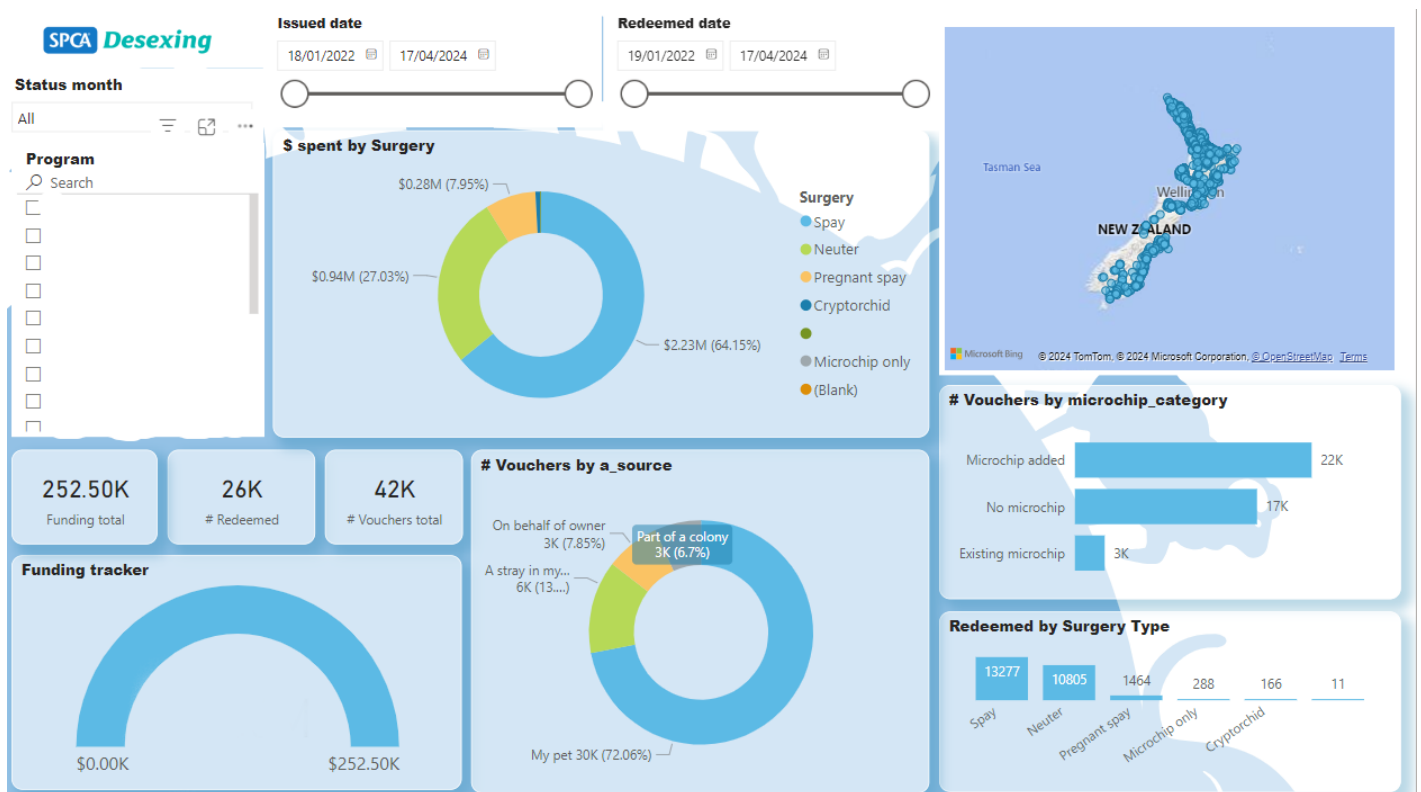
Waitaki resident, Helen, on Facebook said *"Thank you so much for this wonderful initiative. I live on a rural property and got a huge surprise when a little wildie/dumped kitten wandered into my kitchen in late January. S/he (I think he's a 'he')* has settled into domestic life perfectly. He's staying in the house with another former wildie until I can build an outside house/enclosure for them. The subsidised spaying/neutering is greatly appreciated."

## Duration:

- Studies have shown that to make effective change, desexing initiatives should be run regularly over a number of years
- A Campaign funded at \$15k per year over 3 years (\$45k total), could desex 350 cats and prevent thousands of unwanted kittens.

## Reporting:

An example of the types of reporting available



## SPCA Key Contact:

Contact Name	Title	Phone Number	Email Address
Rebecca Dobson	National Desexing Programmes Manager	027 880 2476	<a href="mailto:rebecca.dobson@spca.nz">rebecca.dobson@spca.nz</a>

## Hutt City Council Draft Long Term Plan



### Introduction

Thank you for the opportunity to provide input into the Draft Long-Term Plan 2024 – 2034 for Hutt City Council.

Sport NZ acknowledges Hutt City Council as the major provider of play, active recreation and sport facilities and services in Lower Hutt. We greatly appreciate the positive outcomes Council investment provides for a wide range of sports codes, demographics, cultures, ages, and abilities. Council investment into the play, active recreation, and sport sector makes an enormous contribution to the overall health and wellbeing of people in your city.

We also acknowledge the challenge Council faces with balancing the various competing demands such as growth, transport, climate change, and water infrastructure in the context of the current fiscal environment.

### Sport New Zealand Overview

Sport New Zealand (Sport NZ) is the crown agency responsible for contributing to the wellbeing of everybody in Aotearoa New Zealand by leading an enriching and inspiring play, active recreation, and sport system.

Sport NZ's vision is simple - to get **Every Body Active** in Aotearoa New Zealand.

Our role as a kaitiaki of the system focusses on lifting the physical activity levels of all those living within Aotearoa and having the greatest possible impact on wellbeing. We achieve our outcomes by aligning our investment through partnerships, funds, and programmes to our strategic priorities set out in our four-year strategic plan and through the strong relationship we have with our greater Wellington regional partner, Nuku Ora.

### The Place of Council in Play, Active Recreation, and Sport

Local government is a significant contributor to the play, active recreation, and sport system. From the provision of vital community infrastructure that are part of the fabric of our communities to grants and opportunities that support local communities to participate in physical activity.

Evidence shows that by prioritising resources and investment into the play, active recreation, and sport system the wellbeing of communities can be enhanced, and a broad range of local government priorities and outcomes can be achieved.

*The provision of play, active recreation, and sport facilities, infrastructure, resources, and opportunities are important to a large proportion of the population.*

Data from the 2022 Active New Zealand Survey shows that:

- 73% of the adult population and 92% of young people (aged 5-17yrs) participated each week in play, active recreation, and sport.
- 79% of adults and 63% of young people would like to be doing more play, active recreation, and sport.
- high deprivation, Asian, and Pasifika population groups are significantly less likely to participate in play, active recreation, and sport.

*Investment in play, active recreation, and sport is a cost-effective contributor towards local government wellbeing outcomes.*

International and domestic evidence clearly demonstrates that play, active recreation, and sport generate significant value for society across multiple wellbeing domains and outcomes, many of which are specifically relevant to the outcomes sought by local government:

- Council has already seen the recently published Social Return on Investment research<sup>(1)</sup> from Sport NZ which found that for every \$1 spent on play, active recreation, and sport there is a social return of \$2.12 to New Zealand; more than double the investment. This is a conservative figure and the actual return, especially for those currently missing out on opportunities to be active in communities like Avalon, Taita and Wainuiomata (where the barriers to physical activity can be greater), is likely to be higher.
- In 2019 participation in play, active recreation, and sport generated \$3.32 billion return in subjective wellbeing (life satisfaction and happiness) within New Zealand<sup>(1)</sup>.
- Overall the social return on investment research focused on recreational physical activity and measured the values of the outcomes generated through sport and recreational activity and the net costs, or inputs of providing opportunities for engagement. The estimated value of social returns based on empirical evidence was \$16.81 billion for New Zealand.

Sport New Zealand has developed a resource for local government that further illustrates the significant value that local government investment in the play, active recreation, and sport system delivers particularly with respect to social, economic, environmental, and cultural wellbeing outcomes. The resource can be accessed here:

<https://sportnz.org.nz/media/u41hdovx/the-value-of-play-active-recreation-and-sport-for-local-government.pdf>.

## **Sport New Zealand's Feedback on the Draft Long-Term Plan**

We have chosen to direct our feedback to the Long-Term Plan activities that we believe will have the greatest impact on physical activity and indirectly community wellbeing. As such we make the following comments:

Sport NZ acknowledges council's approach to reducing spending where possible and minimising rates increases.

Regarding the **Petone Assets** we have focussed our specific comments to the Petone Recreation Ground Grandstand, which is part of **Option 1**. Here we support council's option to demolish the seating and the first floor and make earthquake strengthening improvements.

We also encourage council to ensure that toilet, shower and changing facilities are publicly available, accessible for all abilities, and gender neutral (including shower and toilet cubicles).

### **Cycleway and Micro-mobility programme.**

Sport NZ is encouraged to see Council's ongoing commitment to the Cycleway and Micro-mobility programme 2022-31, despite considerable financial pressures. The connectivity of communities through the cycleways and the growing shared pathway network provides physical activity and environmental benefits and adds to the amenity value of the city and its growing population.

More generally we would like to encourage your Council to consider:

- Continuing to grow your relationship with our regional partner, Nuku Ora who are focused on fostering a collaborative approach to enable our communities to be more active, specifically the facilitation of cross-boundary relationships, information sharing, and planning.
- As community recreational amenities are demolished or replaced, we would encourage council to take a co-design approach with the community for replacement infrastructure.
- We appreciate that over the past 20 years Hutt City Council has provided significant investment into community infrastructure for sport and recreation. It is important that the community wellbeing benefits that these assets provide are valued and supported in an ongoing manner as the cost of operating, maintaining, and improving these facilities are only increasing. The benefits of quality and equitable provision are closely aligned to Council aspirations of a liveable city and community wellbeing.
- We also look forward to following the progress of Naenae Pool once it is fully operational to understand what we can learn from your commitment to a Green Star community facility. Our Spaces and Places Team will be keen to work with you on this for the benefit of other councils around New Zealand.



## Reserves Investment Strategy

Sport NZ acknowledges Council's commitment to improve the quality of green spaces within the city over the 10 year period. Quality outdoor spaces are a catalyst for recreational opportunity, provide a vehicle for social cohesion, add to the amenity value of the city and contributes to the outcomes and four capitals that council wishes to achieve.

## Spaces and Places

In these tough financial times, Sport NZ is advocating for Councils to consider these cost-effective approaches with respect to the provision of spaces and places for physical activity:

- regular maintenance and activation of existing facilities (including not reducing renewal allocations)
  - the promotion of 'hubbing' and sharing of spaces. We acknowledge council's drive to optimise the use of community facilities by facilitating multi-organisation use and discouraging single use of community facilities.
  - improvements that ensure quality experiences for a broader range of users (i.e. increasing flexibility of or access to space, consideration of the needs of all genders, cultures, ages, and abilities)
  - harnessing the natural environment and providing supporting amenity to enhance the user experience (i.e. water fountains, shade, accessible toilets, walking and cycling connections, mentioned above).
  - consideration of whole of life financial and environmental costs of provision.
- Physical activity can also be enabled through the provision of active environments not just facilities for formal sport and recreation. There are opportunities to leverage play, active recreation, and sport outcomes through the application of active design principles (Sport England's Active Design Guide 2023 [Active Design | Sport England](#)) to other Council priorities, plans, and policies including:
- district planning and other growth strategies
  - town centre rejuvenation projects
  - transport (seeking opportunities to optimise active travel)
  - stormwater (and climate event) management (i.e. sport fields as detention solutions and recreation spaces as overland flowpaths)
  - environmental sustainability responses (i.e. active transport, erosion management, energy sources for facility operation)
  - development contributions
  - procurement processes
  - community funding grants

## In Summary

Sport NZ acknowledges that this is a really challenging time for Hutt City Council and your community. Thank you again for the opportunity to provide feedback and thank you

for your Council's ongoing commitment to the wellbeing of your community, noting that active communities are not only healthier they are:

- are more environmentally friendly
- have lower carbon emissions
- have better air quality
- are more socially inclusive
- and are more economically productive.

Sport NZ and our regional partner, Nuku Ora have a range of experts who can provide more information and advice about many aspects of the play, active recreation, and sport system – including the planning and provision of active environments or insights about participation trends to support informed decision-making and would welcome your enquiry.

We do not require an opportunity to speak to our submission but stand ready for any follow-up discussions, alongside Nuku Ora, that our submission may generate. We are here to help.

Colin Stone  
Regional Partnerships Manager-Central  
Sport New Zealand  
30<sup>th</sup> April 2024

## **Submission to Hutt City Council Long Term Plan on behalf of the following:**

- **Stokes Valley Football Club Incorporated (SVFC)**

Stokes Valley Football Club provides sporting, recreational and social amenities for its members. This organisation wishes to bring the following items to the attention of Hutt City Council for consideration in terms of repair, replacement or refurbishment or potential future development.

Note: Stokes Valley Football Club would like to extend its thanks to Hutt City Council, staff, Mexted and associated parties for the remedial development works on Delaney Park for 2024. This work is years overdue and long term we hope it will improve the quality of Delaney Park and allow us to deliver more games and hold more events that maximise the parks' purpose.

### **1. Holborn Park artificial turf**

While the current situation of pitches has been relieved with the introduction of Fraser Park and Maidstone Park into our list for use in winter, it is likely only going to be a temporary measure as our junior division continues to grow.

Without a major redevelopment of the quality of Delaney Park or Holborn Park, the quality of the grounds will continue to deteriorate. This will push more trainings and games (games especially) off Delaney Park to alternative pitches. This will hamper us in the longer term as our kitchen and club facilities represents a significant portion of our income to pay our bills.

Prior to this season's start, SVFC members went up to Holborn Park and found it in a shocking state. I have attached some photos for reference. The club has decided that they want to form a working group with the goal of converting Holborn into an artificial turf specifically to maintain the quality of this park as a consistent ground in Stokes Valley. This would provide the long term training needs of our juniors and seniors, thereby reducing our ground hire costs significantly while keeping teams in the valley and close to our clubrooms.

At this stage we are not looking for funding for this project from Council given this current year's budgetary constraints, as we want to put together a prospectus of costs and suppliers before we approach Council further. What we would like from HCC is an interest in engaging in this project, specifically if Council would lease the grounds to the club on a yearly basis. If this is acceptable, we would put a prospectus together and start hunting for grant funding and sponsorship to fund the project. We would also like Council to budget in the Long Term Plan refurbishment works on Holobrn Park which includes complete drainage, expanded fencing, earthworks and floodlight installation before a lease agreement is signed and an artificial built.

If this project goes ahead it would be the largest remedial change to Stokes Valley's sporting scene since the installation of the basketball court at Speldhurst Park. This would be a long-term project that would take a significant amount of time to complete but the benefits, not just to our club but the wider community, would be felt across the suburb for generations to come.

### **2. Installation of new floodlights at Delaney Park**

With this project, we are wanting to install two new floodlights at the end of Delaney No 1 and two closer to the rugby club. This would then allow us to get deferred games to weeknights on Delaney and have later training with our senior teams, bringing down our overall costs in hiring out grounds outside of Lower Hutt. Our seniors do not train at

Delaney at night right now due to the floodlight situation.

What we seek from this project is consent from Council to install two new floodlights on the grounds and for Council to prioritise the chopping of the trees blocking one of our floodlights at the park entrance.

### **3. Delaney Park clubroom changing rooms/toilets/showers**

We are seeking the refurbishment of the changing rooms, toilets and showers up to the standard of the Ricoh Sports Centre to meet health and safety requirements. The changing rooms area is owned by Hutt City Council and attached to the Delaney Park clubrooms. This has previously been agreed to by Parks and Reserves and has yet to be completed. The club wishes to provide an outline of what we would like to include in the changing rooms that includes disability access and toilets. The club would provide the labour to complete the work while Council would provide the materials costs.

Further, due to security concerns, we would ask that the changing rooms area only be opened for cleaning and regular maintenance and not be opened as public toilets.

### **4. Delaney Park rubbish bins**

SVFC would like to see the removal of rubbish bins from the Stokes Valley creek side of the playing fields, due to them being continuously used by members of the public to dump household rubbish. This is becoming a health and safety hazard.

### **5. Install benches and seating along the George Street side of the playing fields**

Due to the ongoing usage of Delaney Park during both the summer and winter seasons, we would like to have benches installed along the George Street side of Delaney Park to allow for seating next to our number one football pitch. This would increase the number of regular supporters who can come and watch our games which would long term help our club.

### **6. Increased signage around Delaney**

There is a lack of signage regarding dog prohibition, security and park information. If further signage could be added to the park to help the club to enforce existing Council rules and bylaws such as prevention of dirtbikes or any form of vehicle on the park and unleashed dogs for example, that would be appreciated.

**JOHN STOKES**

**NGAIO**

**WELLINGTON 6035**

01 May, 2024

Hutt City Council  
30 Laings Road  
LOWER HUTT

**ATTN: LONG TERM PLAN SUBMISSIONS**

My name is John Stokes, and I am the director of Capital Tourism Ltd.

Capital Tourism Ltd is the holding company under which I operated the Wellington / Hawke's Bay edition of the *Tourist Times* newspaper, part of the Tourist Times Nationwide Group (TTNG).

When I purchased that newspaper in 2007, I explored the area in which I was to be operating as a first step towards rebuilding the business (which was badly needed!). As well as the obvious places that I could target to grow the business (such as Wellington city, the Kapiti Coast, Wairarapa, Napier, Havelock North, etc) there were many other developmental opportunities that existed elsewhere throughout the region.

For instance, Foxton in Horowhenua. Piggybacking upon the unique de Molen windmill, the town became regular advertisers and I was delighted that they saw an increase in visitor numbers resulting from their promotional efforts. Carterton! Who would've thought tourists would want to spend time there? But the monthly feature "A Town Like Carterton" became a hit with that town's businesses. Similarly, "A Town Like Waipukurau". All such places have something to offer the tourist who wants to get away from the tourism icons and to "meet the people".

Petone, I felt, was another place that oozed tourism potential. But this was 2007 to 2009 and I know from my lack of success with the business owners and operators there, at that time, Petone was not ready for tourism. Often, tourism success boils down to self-belief – but Petone really needed a spark or two to get a tourism ball rolling, and one much greater than what *Tourist Times* could offer.

That said, the Jackson Street Programme was already in place in the main street, and making a difference. The heritage buildings were an asset waiting to be realised – and that process has now begun. The history of the beach of Pito-one, being the landing place of the very first settlers to New Zealand, was largely unknown – and still is. That should be celebrated! The 1940 centennial bathing sheds upon the beach – now the site of the Petone Settlers Museum – is a stunning structure with a special story. The incredible tales to be told in the cemetery in Te Puni Street, including the largely unknown but very enviable relationship between Honiana Te Puni and Pakeha, is unique in Aotearoa New Zealand. All of these are assets that help to give Petone its particular flavour.

But that cemetery, along with other Council assets, appears not well maintained along with Petone wharf (the Settlers Museum building being an exception.) It is my view, demolition of either the cemetery or the wharf (or the Settlers Museum, for that matter) would be an abhorrent notion.

All this only scratches the surface of the very rich history of Petone. It is not the intention of this submission to remind councillors of that history, but to impress upon council the realistic tourism opportunity that it offers Petone. The wharf is a part of that historic mix.

Everything is connected to everything else! As an overview, Petone is a part of Wellington. Wellington has worked hard over the years to attract tourists – and they have come. As we all know, tourists don't recognise TLA boundaries! So, with the success of Wellington in mind, we must ask ourselves, "Could Petone or Pito-one have the potential to be on a tourist's radar?"

The short answer is an emphatic "yes".

Petone Wharf is part of that important infrastructure for tourism to be attracted to Petone. If we think of Wellington as merely a dormitory for Petone tourists, things might begin to happen! I am being candid – but the point is made that tourists are on the doorstep right now. In the past I have spoken with both the Hutt South MP Ginny Andersen, and Cr Tui Lewis, about this and both recognise the tourism opportunities Petone presents for the existing Wellington tourism infrastructure.

Once the Petone Wharf is demolished, the unique day trip opportunity that exists for tourists from Wellington is largely gone. An arrangement with East by West Ferries, a progressive company whom I am sure would welcome returning to Petone Wharf, would help facilitate that tourism.

Because others will have their say on this, I shan't go into the obvious benefits Petone Wharf offers for an alternative transportation facility for travel between Wellington and the Hutt Valley. But the benefits are clearly there. (This is not just to do with climate change, but could include the effects of a major traffic crash on SH2, overcoming storm effects, potential earthquake recovery and so on.)

Yes, we all know the Wellington weather can spoil the best laid plans of even the most hardy tourist! Made more user-friendly with inclement Wellington weather in mind, such as covered-in walkways and shelters on the wharf, would begin to mitigate such adverse conditions. But let's not dwell too much on bad weather – as we all know, "You can't beat Wellington on a good day." Petone Wharf is a part of the pretty picture that is Wellington.

### **St Heliers, Auckland**

It is possibly worth including here a note about a very similar wharf that was built in 1882 in St Heliers, Auckland. The wharf stretched 1500 ft (ie 460 metres – Petone Wharf is 390 metres long) over shallow water to where ferries and ships could moor. It's raison d'être was to bring prospective land buyers from Auckland to the newly-opened land estates; it also became the catalyst for day trippers and tourists visiting St Heliers Bay.

Once Tamaki Drive was opened to St Heliers, cars and buses brought the visitors, and the wharf fell in to decline. It was demolished in 1930. Aucklanders rue the day! In the 1980s there was talk of reinstating the wharf, but the cost was felt to be prohibitive. In the 2000s, as the Hauraki Gulf ferry services were being resurrected, it was felt was another wharf at St Heliers, as a regular stop on the Half Moon Bay ferry service, made logical sense. However, it was thought that, in winter, commuters would use the Tamaki Drive road rather than an exposed and uncovered wharf. Perhaps this is an important analogy for the Hutt City Council to consider?

John Stokes

Hutt City Council  
30 Laings Road  
Lower Hutt

20 April 2024

RE: Submission Opposing Paid Parking in Petone

To the Hutt City Council,

I am writing to express my strong opposition to the proposed introduction of paid parking in Petone as outlined in the 10-year plan. As a small business owner located on Jackson street, I am deeply concerned about the potential negative impacts that paid parking could have on our community and local economy.

Petone has made significant strides in revitalising its shopping district through initiatives such as the Jackson Street Programme, which has positioned the area as a vibrant shopping destination with a diverse range of eateries and small businesses. One of the key attractions of Petone is the availability of free parking, which sets it apart from other locations, particularly the central city.

Most small businesses in Petone are owner-operated with minimal staff, leaving little room to downsize operations in response to a decrease in foot traffic that paid parking would inevitably bring. The imposition of parking fees would likely lead to several businesses being unable to sustain their operations, resulting in closures. This not only impacts the affected businesses directly but also has ripple effects on the rest of the street, potentially leading to vacant shops or suboptimal tenants, further exacerbating the decline in patronage. This outcome directly contradicts the objectives of the Jackson Street Programme, which the council supports financially to avoid such downturns.

Moreover, the timing of such a proposal is particularly concerning given the ongoing challenges posed by the COVID-19 pandemic. Many businesses are still recovering from extended periods of closure and reduced consumer spending with the latest Retail Radar survey indicating that 32% of retail businesses in NZ were unsure if they would be able to survive the next 12 months. Introducing additional financial barriers to shoppers in the form of paid parking and the reduced foot traffic this would result in would only compound these difficulties and hinder the recovery efforts of our local economy.

The council need only look to the CBDs of Porirua, Tauranga and the Lower Hutt CBD to see the detrimental impact of paid parking. Several news stories are available online which discuss the impact on business from the introduction, or re-introduction of paid parking.

I urge the Hutt City Council to reconsider the introduction of paid parking in Petone at this point in time and instead explore alternative solutions to address our wider financial issues. Maintaining the accessibility and attractiveness of Petone as a shopping destination is vital for the continued success of our small businesses and the overall vibrancy of our community.

Thank you for considering my submission.

Sincerely,



Katie de la Mare  
Managing Director  
Style on Jackson





**From:** Adele Sullivan <[REDACTED]>  
**Sent:** Monday, March 25, 2024 3:22 PM  
**To:** haveyoursay <haveyoursay@huttcity.govt.nz>  
**Subject:** [EXTERNAL] Thoughts for 10 year plan

Hi

With all the high density housing, please consider infrastructure.  
Examples;- road congestion, parking, water, waste water, sewerage, etc...

Thanks

Adele sullivan

[REDACTED]

## Submission to the Hutt City Council 10 Year Plan 2024: Access to the Eastbourne Summer Pool

The Pool Action Group wants the Hutt City Council (HCC) to set the period over which the Eastbourne Summer Pool is open to match that of other Outdoor Pools in the city. We also want our Board to negotiate more convenient hours over which the pool is open for residents and visitors.

**Presented by** Mr Peter Attwell, Ms Jean McKinnon, Dr John McKinnon and Mr Derek Wilshere who make up the Eastbourne Pool Action Group with supporting statements from Mr Stu Devenport, Principal of Muritai School, Kaye Wilmshurst for the Eastbourne Swim Club and Gill Stotter of Hutt Physiotherapy Centre.

**Representing:** 170 Eastbourne Residents who spontaneously offered support plus the following:

Swim Club: 163 members

Muritai School: 376 students

Icebergs: 50 members

**Current Situation.** For several years the Eastbourne Summer Pool opened later and closed earlier than either Wainuiomata or Mckenzie pools. The length of the seasons:

2023-24 Season	Opened	Closed
Eastbourne	25 November	3 March
Wainuiomata	11 November	10 March
Petone/ Mckenzie	18 November	10 March

### Noteworthy

Mckenzie pool is currently allocated two weeks more than Eastbourne

Wainuiomata pool is allocated three weeks more than Eastbourne

Many Eastbourne residents reported feeling blocked from using their pool because of the limited hours over which it is open. A frequent observation made was that lack of access discouraged people from using it. This is especially true for parents wishing to swim after school drop-off and those returning home after work, too late for the pool opening period.

**Formal rationalisation for this abbreviated season** offered to justify attenuated access and repeated several times over the past two years is that it is a routine administrative matter: the Eastbourne season is determined by the availability of tertiary and the occasional secondary school students who act as administrators and life guards. The pool is closed when students return to their studies - as Eastbourne is one of the smaller pools, has fewer clients and the number attending falls away towards the end of the season it can't pay its way - the pool is closed. The overriding, unacceptable rationale is simple: Eastbourne doesn't qualify financially for an extension.

Residents asking for a return to the earlier situation when the pool was open for longer, argue that the real question is one of equity, equality, and resident well-being.

Our Library faces a similar challenge posed by a smaller population but is well staffed. The bus and ferry companies run transport at times the number of passengers falls below a profitable level but continue to offer a high level of service. Why does the HCC not share this principle of service to the community when it comes to the pool? The HCC simply fails to allocate adequate operational budget and discriminates against Eastbourne. A broader matter of principle is not taken into account.

It is interesting to note that the availability of the pool has not always been this limited. In 2011 for instance the Eastbourne pool opened 10 November in line with other pools, two weeks earlier than this year.

**The Action Group position** is that limiting the period and hours over which the pool is open is a political decision which ignores the duty of giving a fair deal to each and every resident of the city regardless of where they live. In backing up the book keeping argument and the need to keep costs down by arguing that the season must be determined by the availability of tertiary students as lifeguards is not good enough. In following this line of reasoning the HCC administrators ignore principles of equality and equity. Eastbourne residents should have fair and equal access to their pool as other citizens have access to theirs.

**This is not a complaint about the way the pool has been managed.** Overall the way in which HCC manage the pool is first class. The facility is kept in excellent condition. The lifeguards are well trained, helpful and qualified to handle emergencies. Over the years over which the pool has been managed by the HCC:

- 1) The grounds around the pool have been extended and new furniture brought in;
- 2) The heating system has been upgraded and the water kept at a much more comfortable temperature.
- 3) The changing rooms have been regularly freshened up and renovated

**Eastbourne Pool Deserves Heritage Status.** Over the slightly more than 70 years as a community built facility on the Rona Bay site the pool deserves heritage status. It has more than fulfilled its initial promise to meet the recreational and welfare needs of the community.

The first pool was built by voluntary labour in 1952 as part of an initiative undertaken by the Eastbourne Amateur Swimming and Lifesaving Club. Land was made available near the Rona Bay Wharf by the Eastbourne Borough Council. There was nothing fancy about it but it served the purpose of providing a place where children could be safely taught to swim, learn the skills to enable them to better cope with their coastal environment and swim in friendly competition with each other.

By the 1970s it was clear that the days of the old pool were over. It had become difficult to maintain and was something of a health hazard. A councillor, Shirley Budd, proposed that a new pool be built and once again with the enthusiastic support of Swim Club members and stalwarts in the wider community planning and fundraising commenced.

The old pool was demolished, the debris removed by volunteers and eventually, with the help of money collected again primarily by the Swim Club with some donated by the Borough Council. When fund raising was topped off by a government grant, the existing

25m x 12m pool was built. Once again voluntary labour made a major contribution. Teams of volunteers spent their weekends mixing concrete and building the new pool. The total cost of construction was kept down to the not so small sum of \$65,000 (today this would be \$510,364)

The pool opened in November 1980 and was run by the Swimming and Lifesaving Club with the help of volunteers. As the generation of builders aged the club found it increasingly difficult to staff and maintain the pool and in 1986 the Borough Council took over management.

In 1989 following amalgamation the HCC took over. More stringent health and safety regulations were introduced. Arrangements put in place by the Borough Council remained standing. The

length of the season and opening hours agreed to by the Borough Council and Swim Club were kept. It is only within the last decade or so that the availability of the pool to the public has been cut back.

**Changing Demographic Profile and Funding.** Clearly Eastbourne’s population will never catch up to or keep up with the growth of either Wainuiomata or Petone. However, as Ross Jamieson the last mayor of Eastbourne Borough pointed out, Eastbourne has always paid its way. Unfortunately we do not have up to date figures but in 2000, although Eastbourne had “only 5.4% of the city’s ratepayers, they paid around 9% of the city’s residential rates while Wainuiomata, with 16.5% of the rate payers paid only 12%.” (quoted in Beaglehole & Carew, 2001: 256).

The total contribution of Wainuiomata will have increased in proportion with its population but the amount paid per household by residents of Eastbourne remains considerably higher.

Census 2022	Eastbourne	Wainuiomata	Petone
Population	2,810	19,410	8,200
% under 15 years old	19.7	21.6	15.6
% 65 or over	19.6	14.6	15.9
Number households	1,089	5,880	2,955
Number schools	2	8	3

We totally accept the principle that the wealthier areas of the city should be prepared to subsidise the less well off. That is not the issue here but we believe some acknowledgement should be made of Eastbourne’s contribution to the city’s income. In this case the allocation of support for funding swimmers should not involve taking away from one community to benefit another. Again as was observed by our previous mayor Ross Jamieson, such trends can destroy “the fabric and essence of a community” (quoted in Beaglehole & Carew, 2001:256)

**Essential Access for Children.** Another matter to which attention should be paid is the needs of the high proportion of children 15 years old and younger in our community. As is pointed out by both **Stu Devenport** the principal of Muritai School and **Kaye Wilmshurst** a longstanding member of the Eastbourne Swim Club committee both the limited time of day over which the pool is open both the limited hours and length of the season have had a negative impact on the number of children who are able to be taught to swim and enjoy the recreational opportunities offered. The number wanting to learn has increased in proportion to the growing number under 15 years of age. Given the unpredictable weather events cannot always be held on schedule, cancellations occur more often than is wanted so the month on which swimming lessons can start is extremely important.

As Kaye Wilmshurst points out, before the season was shortened the Swim Club used to start training sessions for new intakes at the beginning of the school year. They are now obliged to:

*“kick off 30th November for three sessions before Christmas, then start again 25th January. (Demand for lessons exceeds available open time available) we need a longer season to accommodate the growing demographic of young families” and because we cannot now, as in the past commence and complete an acceptable set of lessons starting at the beginning of the first school term, tutors are not so readily available and lessons initiated at the end of the school year lose momentum over the summer break”.*

In his note **Stu Devenport** emphasises the particular importance of teaching water skills to young people living in a coastal environment and how extending the season gives the school more:

*“opportunities to incorporate swimming lessons and water safety programs into the curriculum”.*

Given the distance of the school from the city centre access to the local pool also saves time otherwise spent in travel and reduces the carbon cost and negative impact on the environment. In Mr Devenports view a longer season and more accommodating hours open

*“would encourage greater community participation and engagement. Not only would our school benefit from this extension, but local families and residents would also have more time to enjoy the pool's amenities. This promotes a sense of community cohesion and physical well-being”.*

**Swim time for parents after the Icebergs session.** The Action Group have received multiple requests from parents responsible for getting children ready for school who cannot take advantage of the Icebergs hours (6am-8:30am) to take an early morning swim and have requested that the pool stay open through to 10:00 am so they can swim after dropping their children off at school.

**Importance of pool for elderly and immune compromised swimmers.** Perhaps the most distinguishing feature of the Eastbourne population is the proportion of people 65 years of age and over. Their needs form a distinct cohort whose mobility is often compromised and whose immune condition leaves them especially vulnerable.

Access to a local outdoor pool contributes a great deal to their health and well-being. At least 10% of the Icebergs are over the age of 70 and of this group 60% are in their 80s. One participant is confined to a wheelchair. Several rely on the use of walking aids. It is not always possible for these people to get to and from the pool without the help of others.

**Gill Stotter of Hutt Physiotherapy** has pointed out that access to a pool can be essential for patients recovering from injury or surgery. Those who are immune compromised are much safer using an outdoor pool.

**Welfare of Children with special needs.** Apart from the case for a multiplicity of young people presented so clearly by **Stu Devenport** and **Kaye Wilmshurst** (below) we have received special pleas from parents with hopefully temporary disabled children with conditions that they hope can be improved by aquatic exercise. Although in this respect Huia is an excellent facility, travel to and from is costly and time consuming: few working parents have the luxury of choice. We strongly recommend that convenient opening times be negotiated for these parents that would also benefit the whole community.

## **Statements in Support of this Submission**

### **1. Stu Devenport, Principal/Tumuaki, Muritai School. 17/10/2023**

On behalf of Muritai School, I am writing to express my strong support for the extension of the summer pool season at Eastbourne Summer Pool. As a concerned member of the Eastbourne community, a parent and educator, I believe that this extension would bring numerous benefits to our school and the entire community.

Eastbourne Summer Pool is a valuable community resource that provides a safe and enjoyable environment for individuals of all ages, especially for the youth. The pool serves as a critical asset in helping our young learners build water confidence and swim skills before the summer break. The importance of water safety and swimming proficiency cannot be overstated, particularly for a school located so close to the coast.

There are several compelling reasons why we believe extending the summer pool season would be highly advantageous:

- **Water Confidence for Young Learners:** Learning to swim and building water confidence are essential life skills. By extending the pool season, our school would have more opportunities to incorporate swimming lessons and water safety programs into the curriculum. This would benefit our students by providing them with crucial skills that can potentially save lives in a coastal community like ours.
- **Accessibility and Cost-Efficiency:** As a school situated away from the central city, it is often costly and inconvenient to access alternative swimming facilities. The Eastbourne Summer Pool offers a more accessible and cost-effective option for our school to provide swimming lessons and recreational activities for our students.
- **Community Involvement:** An extended pool season would encourage greater community participation and engagement. Not only would our school benefit from this extension, but local families and residents would also have more time to enjoy the pool's amenities. This promotes a sense of community cohesion and physical well-being.
- **Health and Well-being:** Regular swimming can contribute to improved physical fitness, mental well-being, and a healthier lifestyle. Encouraging children to swim regularly at a young age sets the foundation for a lifetime of physical activity and health.

In light of these benefits, I kindly request that the Hutt City Council considers extending the summer pool season. This would not only align with the needs of our school but also the broader community's interests.

We look forward to your favourable consideration of this request. Thank you for your attention to this matter.

## **2. Kaye Wilmshurst, Eastbourne Swim Club (ESC). 10/10/2023**

The Eastbourne Swim Club (ESC) has been running accessible swimming lessons for children for decades at Eastbourne Pool. This is my 8th year on the committee and over this time there has been a steady increase in demand for lessons. For example registration numbers in 2019 were 111, last year there were 163, with 157 swimmers as we were unable to provide lessons for 5 swimmers due to all our pre-school and level 2-4 classes being at capacity.

ESC runs weekly lessons on Thursday nights during primary school term-time. Things changed remarkably a few years ago when the pool season and opening times were shortened. I have listed below some areas relevant to ESC impacted by this change:

- Prior to the season being shortened we delivered a swimming lesson program and race night across 10 or 11 scheduled nights – we have been unable to cover the same overall lesson content with 8 or 9 nights which includes a race night.
- We used to run in primary school term time only (like Swim City at Huia Pool) with good attendance numbers – we've tried to recoup a lesson night by starting during the school holidays which has had lower attendance.
- Using last season as an example, even by starting during the school holidays we were still only able to have 9 scheduled club nights (one was cancelled due to the weather leaving only 7 club lesson nights plus race night).
- We lose one or two club nights each season due to weather cancellations – despite only cancelling in extreme conditions with health and safety in mind (combination of two or more of temperature 10 degrees or below, heavy rainfall or excessive wind).

- Many students attend local schools which run their lessons at Eastbourne Pool and are also susceptible to weather cancellations - therefore students have fewer lessons than schools whose lessons are held at Huia Pool. ESC supports these swimmers with providing lesson time they have missed out on.
- Post season each year we review the swimmer numbers associated with each level to pre-empt where demand will be for the following season – this is an attempt to mitigate the reduction in club nights by trying to allocate pool space accordingly.
- Demand for lessons is exceeding supply – we need a longer season to accommodate the growing demographic of young families particularly.

We will continue to be an accountable and responsive committee, for example last year we introduced classes for pre-school aged swimmers in response to community demand. We will continue to advocate for our members, and with this in mind welcome any opportunity to speak (again) in person with anyone from Hutt City Council. Our position is clear, we need more weeks to enable delivery of a comprehensive lesson plan, at the minimum a return to pre-Covid levels.

### **3. Peter Attwell, Eastbourne Icebergs. 25/3/2024**

The Icebergs is an early morning swimming group which has been meeting at the Eastbourne Summer Pool for more than a decade. In the early days of the first pool friends met for an early morning swim and if attendance dropped supporters carried their own key to let themselves in. Understandably, as it did not meet good practice and safety standards this arrangement and was not continued after the new pool was brought under Borough Council management. By 2022-23 some 50 local residents regularly joined a formal group, paying \$110 each per season; a period, apart from an extended break encompassing statutory holidays, which entitled swimmers to use the pool on weekdays between 6 am and 8:30 am.

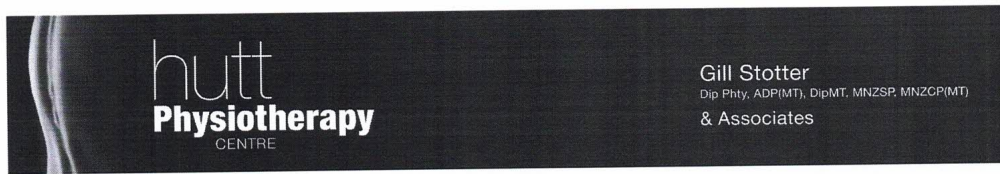
Icebergs members participate for a wide variety of reasons. Ages range from teenagers to octogenarians. Some attend for fitness workouts before work; some train for specific sporting events; others do their best to offset adverse disability and mobility issues; many are older people who wish to maintain and improve fitness for the benefit of their general health and well-being. For those who are immune-compromised the outdoor pool provides a safer place to exercise than the warm, humid enclosed space of the Huia Pool.

Eastbourne swimmers do not get the same period of access to their pool as other swimmers in the city. Last year both Mckenzie and Wainuiomata pools opened on the 19/11/22 and closed 12/3/23 whereas Eastbourne Summer Pool opened 26/11/22 one week later and closed 5/3/23, one week earlier.

This has not always been the case. In 2010 for instance the Eastbourne Pool opened on the same day as the other two pools. When the cutback was made it was rationalized as a budgetary necessity but clearly this is stretching the fact and we feel justified in asking “Does the HCC really care?” This year, following quickly after the Eastbourne Community Board request to extend the Eastbourne season was turned down, the HCC Aquatic Managers extended the Wainuiomata Pool for an additional week!

We asked the Eastbourne Community Board to take the matter back to the Council and remain grateful for their support. Their need to maintain a positive working relationship with Council is important but we believe a more assertive approach needs to be taken. Now is the time to take stock and reassert our right of equitable access to the pool.

#### 4. Gill Stotter, Hutt Physiotherapy Centre. 10/11/2023



10/11/2023

To His Worship the Mayor, Campbell Barry,

I am writing in support of the submission to extend the season for Eastbourne Summer Pool.

I am both a resident of Days Bay and use the pool for personal use but more importantly as a physiotherapist I recommend many patients to use the pool for rehabilitation. Some patients can use the Huia indoor pool but those who are immune compromised are better to use an outdoor pool, particularly as another increase of Covid 19 has recently begun.

The other pools in Lower Hutt, both Wainuiomata and McKenzie, are open for a longer season and are well patronized.

We look forward to your response.

Yours Sincerely,

A handwritten signature in black ink that reads 'Gill Stotter'.

Gill Stotter

Clinical Director  
Hutt Physiotherapy Centre



## **Closing Remarks**

In seeking the views of Eastbourne residents on the matter of pool access it has become clear that a significant number feel strongly that better use could be made of our pool. Again and again we were told it was built by the community, for the community so long ago that it has become part of who we are. There is no question that optimum use should be made of it for the well-being of our residents. On a city wide landscape it is not a matter of one community being given more than another, it is a matter of principle: we want an ethical approach that promotes equality rather than a sorry repetitive bookkeeping saga. We deserve a fair go, an arrangement that acknowledges that Eastbourne pays its way.

## SUBMISSION

IN THE MATTER OF:	Proposed 2024 Development and Financial Contributions Policy
TO:	Hutt City Council
FROM:	Summerset Group Holdings Limited
DATE:	3 May 2024
BY POST:	Hutt City Council, Private Bag 31912, Lower Hutt 5010
BY EMAIL:	<a href="mailto:haveyoursay@huttcity.govt.nz">haveyoursay@huttcity.govt.nz</a> <a href="https://survey.publicvoice.co.nz/s3/HCC-LTP-Feedback-form">https://survey.publicvoice.co.nz/s3/HCC-LTP-Feedback-form</a>

## INTRODUCTION

1. Summerset Group Holdings Limited (*Summerset*) is pleased to have the opportunity to submit on the draft 2024 Development and Financial Contributions Policy (*Policy*) proposed by Hutt City Council (*Council*).

## BACKGROUND

2. Summerset is New Zealand's second largest developer and operator of retirement villages, which makes it one of New Zealand's largest home-builders. Summerset has 38 villages completed or in development across New Zealand and provides a range of living options for more than 8,000 residents.
3. New Zealand is facing a housing crisis, including a retirement living and aged care crisis. It is therefore vital that the regulatory environment recognises and provides for the development that is required to meet this growing demand, and funding for associated infrastructure, but does so on a fair and proportionate basis.

## LOWER OCCUPANCY AND DEMAND PROFILE

4. Summerset acknowledges the Policy's recognition of retirement villages' lower demands on the city's infrastructure in general. However, Summerset considers that the Policy fails to fully take into account the characteristics of comprehensive care retirement villages and their occupants, and the substantial extent to which they reduce the impacts of development on requirements for infrastructure and community facilities.
5. "Retirement village" is an umbrella term given to all types of retirement living, encompassing both "comprehensive care" and "lifestyle" retirement villages.

- 5.1. Comprehensive care retirement villages provide a full range of living and care options from independent living through to assisted living, rest home, hospital and memory care (dementia).
- 5.2. Lifestyle retirement villages focus mostly on independent living units with occasionally a small amount of serviced care on a largely temporary basis. When a resident becomes frail over time, usually they would be forced to move from a lifestyle village. This is because care provision is minimal and not suitable as a long-term solution.
6. Each village attracts a very different resident demographic. The average age of a resident entering Summerset's comprehensive care villages is 81 years. For completed and fully occupied villages, the average age across all residents is closer to mid-80s. Residents are typically people that chose to live in their own homes for as long as possible and have moved to a retirement village primarily due to a specific need (such as deteriorating health or mobility challenges, or for companionship). By contrast, lifestyle villages cater for a younger, more active early retiree, with a higher proportion of couples. The average age of a resident moving into a lifestyle village is more mid-to-late 60s.
7. Summerset's villages typically provide an extensive range of on-site amenities that are suited to the older residents' specialist physical and social needs. These on-site amenities greatly reduce, and in some cases eliminate, usage of Council's community amenities and facilities by Summerset's residents.
8. Summerset's average occupancy for its independent units is 1.3 residents per unit regardless of the number of bedrooms in the unit. Summerset's average occupancy for its care units is 1 resident per unit. The reduced occupancy per unit, together with the reduced demand per occupant, results in a reduced demand on both local infrastructure and community facilities when compared against the demand assumptions for a typical household unit.

## **POLICY NOT FAIR AND PROPORTIONATE**

9. Summerset notes and supports the decreased development contribution charges for retirement villages generally. Section 41 of the Policy provides that aged care units (per bed) and retirement units (per unit) will be assessed as 0.5 EHUs for water, wastewater and stormwater and 0.3 EHUs for transport (the Policy does not include charges for community infrastructure). Financial contributions are used to fund growth-related reserves infrastructure. Generally these are set at \$10,000 per residential unit, with a discretion for Council to consider "whether the development generates lower levels of demand or need for reserves and open space per residential unit than the average (e.g. retirement villages)."
10. Summerset considers that the Policy does not go far enough to account for:
  - 10.1. the lower occupancy rate of retirement units and aged care rooms as compared to standard residential dwellings;
  - 10.2. the demographic characteristics of retirement unit and aged care room residents;
  - 10.3. the extensive on-site amenities and facilities provided by comprehensive care retirement village operators;
  - 10.4. the differing occupancy rates and resident demographic characteristics as between retirement unit residents and aged care room residents; or

10.5. the already known lower demand placed on reserves infrastructure by retirement village and aged care residents.

## RELIEF SOUGHT

11. Summerset notes that the reduced occupancy, and demand per occupant, for comprehensive care retirement villages (both for aged care rooms and for independent living units) has been thoroughly tested, most recently via Tauranga City Council’s 2023 independent review into infrastructure demand by retirement village residents, a copy of which is set out in Appendix 1. This approach appropriately recognises the reduced demand placed on local infrastructure and community amenities.
12. Taking into account both population per unit/room, and demand factors, Summerset suggests:
  - 12.1. setting financial contributions relating to reserves at \$1,000 per retirement village unit and \$500 per aged care room (0.1 and 0.05 of the standard \$10,000 per residential unit respectively), given the lower level of demand is known now and can be reflected in the Policy to provide certainty to developers; and
  - 12.2. using the rates in the table below for development contribution charges for transport and three-waters.
13. These proportions/rates are based on the equivalent rates in the most recent Tauranga City Council Development Contributions Policy, which were established following the independent review into infrastructure demand by retirement village residents. The review found that on average residents have a demonstrably lower demand for transport, reserves and community facilities, due to villages providing many on-site facilities/amenities and, for aged care residents, a higher need for 24/7 medical care and reduced mobility. We encourage the Council to review the contents of the report set out in Appendix 1 and seek an independent review of its own, which we would be happy to contribute information to.

Development type	Activity	Units of demand
Retirement unit	Transport	0.2 EHU per unit
	Water	0.5 EHU per unit
	Wastewater	0.5 EHU per unit
	Stormwater	0.5 EHU per unit
Aged care room	Transport	0.1 EHU per room
	Water	0.4 EHU per room
	Wastewater	0.4 EHU per room
	Stormwater	0.4 EHU per room

## TIMING

14. Summerset submits that the Policy should be explicit about the assessment and timing of payment for large, staged projects that require both land use resource consent(s) and building consent(s). Summerset submits that where both a land use resource consent and a building consent are required, the activity should be assessed for development contributions based on the relevant Policy applicable at the time that the resource consent application is lodged, with payment of the total assessed development contributions staged such that a proportionate amount is payable prior to uplift of the code of compliance certificates for each staged building consent. That manner of assessment and payment is fair and reasonable and gives developers certainty of the development contributions payable on large, staged projects such as comprehensive care retirement villages.
15. The Policy describes the trigger for requiring development contributions as the earliest possible point in consenting of the development. This is at the point of first grant of any resource consent, building consent, or service connection authorisation, “unless Council agree to different payment timing for large scale multi-stage developments”. Summerset requests that different timing for large scale multi-stage developments is provided for in the Policy itself (rather than left for consideration on a case-by-case basis), as follows.
  - 15.1. Where a building consent is required to be issued for the development proposed, then the development contributions should be payable on the issue of associated code compliance certificate(s). That is the point at which the land use could lawfully be given effect to without breaching the Building Act 2004. Given occupancy is permitted at that point, it is also the time at which any additional demand on Council infrastructure would arise. In a larger staged development, this may mean a series of payments over time as the building work under each staged building consent is completed and signed off.
  - 15.2. In terms of the timing of the assessment and the version of the policy that applies, the development contributions would be calculated and assessed against the relevant Policy at the time that the land use consent application was lodged but payable at the time of code compliance certificate(s).

## FINAL COMMENTS

16. Summerset is grateful for the opportunity to submit on the Policy and looks forward to engaging with the Council during the consultation process. Summerset would be happy to meet with the Council or attend at a hearing to discuss this submission further if that would assist.

Yours faithfully,



**Oliver Boyd**  
National Development Manager  
Summerset Group Holdings Limited



Final Report: 12 July 2023

# Assessment of Tauranga City Council's Approach to DCs for Retirement Villages

Prepared for:  
Tauranga City Council

**Authorship**

This document was written by Fraser Colegrave and Danielle Chaumeil.

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# 1. Executive Summary

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Tauranga City Council (TCC), like all high-growth Councils, uses development contributions (DCs) to help recover the cost of growth-related infrastructure directly from property developers. During recent consultation on its 2022/23 DC policy, TCC received submissions from stakeholders in the retirement village (RV) sector, who felt that the policy did not go far enough to reflect the allegedly lower-than-average needs of RV residents. Accordingly, TCC commissioned us to review their current approach to charging DCs for RVs and to recommend any potential refinements arising. This document presents our review.

Our review begins by summarising the way and extent to which other Councils in high growth areas accommodate RV developments within their DC policies. In short, while many Councils separately classify RV units and set corresponding conversion ratios for them, there is very little publicly available information supporting them. Further, while very few Councils separately classify aged care units in their DC policies, those that do typically set very low conversion ratios to reflect the highly immobile nature of occupants.

Next, we assessed publicly available information about RV infrastructure demands from resource consent documentation submitted for new or expanded villages. This exercise strongly indicated that RV and aged care units both have similar three water demands to small household units, as currently contemplated by TCC's DC policy, but that their demand for transport, reserves, and community facilities infrastructure are significantly lower than the policy currently provides for. This is due not just to the older age of RV residents and their relatively limited activity/mobility, but also the often-extensive provision of onsite social and recreational facilities to meet residents needs without having to travel offsite.

Finally, we reviewed a range of other information sources to complete the picture, including recent sports and recreation participation surveys, the NZTA household travel survey, and trip generation data collated by the Institute of Traffic Engineers (ITE). These data confirm that older people do indeed travel far less often than younger people, and that they participate much less frequently in sport and recreation.

Accordingly, we recommend that the conversion ratios for citywide DCs be revised to match the table below, with further work required to determine whether such changes are needed or merited for local DCs (given the unique/differing way in which they are applied).

Table 1: Proposed Conversion Ratios for Citywide DCs

<b>Asset Types</b>	<b>RV units</b>	<b>Aged Care units</b>
Water	0.50	0.40
Wastewater	0.50	0.40
Stormwater	0.50	0.40
Transport	0.20	0.10
Reserves	0.10	0.05
Community facilities	0.10	0.05

## 2. Introduction

---

### 2.1. Context and Purpose of Report

Tauranga City Council (TCC), like all high-growth Councils, uses development contributions (DCs) to help recover the cost of growth-related water, wastewater, stormwater, parks, reserves, transport, and community facilities infrastructure directly from property developers. This ensures that the costs of meeting growth are met by those who cause the need for, and benefit from, the underlying capital works.

During recent consultation on TCC's 2022/23 DC policy, the Council received three submissions from stakeholders in the retirement village (RV) sector. They argued that the DC policy does not go far enough to reflect the lower-than-average needs of retirement village residents. Specifically, they note that RV units not only have lower average household sizes, as already reflected in the policy, but that the infrastructure demands of RV residents are also lower per capita due to their older average age, relative inactivity/immobility, and the provision of onsite facilities and activities in lieu of Council-provided ones.

Accordingly, to ensure that the DC policy adequately accounts for the differing infrastructure demands of RVs, TCC commissioned us to review their current approach and recommend any potential refinements. This document presents our review.

### 2.2. Key Policy Considerations

Altering DC policies is a lengthy and time-consuming process, which must be done either during triennial LTP reviews, or via a special consultative procedure under the Local Government Act 2002 (LGA). Consequently, TCC have requested that evidence supporting any proposed policy refinements be sufficiently compelling and also put in context of the following key considerations:

- DCs are effectively a zero-sum game, so any DC reductions for RVs will need to be offset by higher DCs for other developments (otherwise DC costs will not be fully recovered).
- The policy already enables RV units to be charged 0.5 HEUs for citywide DCs.
- Local infrastructure in greenfield areas must be planned and delivered well ahead of development occurring, so there is limited – if any – scope to adjust the type or quantum of infrastructure capacity provided to reflect the allegedly lower requirements of RVs.
- Local DCs in new greenfield areas are charged on a per hectare basis, with those in existing urban areas effectively fixed at a capped rate per hectare. This may affect the merits of, or need for, changes to local DCs.
- RV infrastructure demands include not only residents but also staff and visitors. To that end, TCC currently does not charge DCs for the non-residential elements of villages.

### **2.3. Retirement Villages vs Lifestyle Villages**

This review considers only the infrastructure demands of comprehensive care retirement villages (RVs), which are defined in para 21 of Summerset’s submission as:

“providing a full range of living and care options from independent living through to assisted living, rest home, hospital and memory care (dementia). The residential care component makes up a relatively high percentage of the overall unit mix.”

This contrasts with the other type of village – lifestyle villages – that also fall under the same umbrella but have different characteristics and hence infrastructure demands to RVs.

For example, according to the Summerset submission, “the average age of a resident on entry to its villages is 81 years, with most living at home for as long as possible, and only moving there usually due to a specific need (such as deteriorating health or mobility challenges, or for companionship – many of Summerset’s residents are widows). By contrast, lifestyle villages cater for a younger, more active early retiree, with a higher proportion of couples. The average age of a resident moving into a lifestyle village is more mid-to-late 60s.”

We acknowledge these important differences between comprehensive care retirement villages and lifestyle villages. Further, because lifestyle villages attract a demographic whose ages and activity levels – and therefore infrastructure demands – are not overtly atypical, we do not consider them any further here and instead consider the case for potentially refining the DC policy to reflect the unique circumstances of only RVs.

### **2.4. Scope and Focus of Our Review**

While our review covers all DC infrastructure types, we focus on the potential case for change in relation to DC-funded parks, reserves, transport, and community facilities infrastructure. These are the activities where the current approach, of charging 0.5 HEUs per retirement village unit, may not adequately reflect the unique nature of retirement villages, including their differing demographics, and the – often significant – provision of onsite facilities and amenities that may reduce the demand for DC-funded ones.

### **2.5. Steps in the Analysis & Report Structure**

Following are the key steps in our analysis and the sections in which they are presented:

- Reviews the approach taken by other Councils to charging DCs for RVs (**section 3**).
- Examines the estimated infrastructure demands of recent RV developments according to publicly available resource consent documentation (**section 4**)
- Explores a range of other information sources to better understand the likely infrastructure demands of RVs (**section 5**)

- Considers possible implications for TCC's DC policy (**section 6**).
- Provides an overall summary and recommendations (**section 7**)

## 3. Review of Other DC Policies

### 3.1. Purpose

This section considers the approach taken by other Councils in their DC policies to charging DCs for RVs to gain a better understanding of current practice.

### 3.2. Approach

We reviewed the DC policies of the various Councils classified as being Tier 1 or Tier 2 under the NPSUD to identify whether, or how, they treat RVs differently from other developments. Reviewing these specific Councils' policies reflects the fact that they are high growth areas, whose DC policies will have also been subject to constant scrutiny - and thus refinement – by an engaged and well-resourced development community. Accordingly, these policies are likely to contain the most robust and reliable information for the matter at hand.

### 3.3. Findings

Several DC policies separately classify retirement village and/or aged care units from other types of residential development, but few provide any useful detail explaining how village-specific conversion ratios are derived. Nonetheless, to begin, Table 2 shows the conversion ratios currently set by Tier 1 and Tier 2 Councils for RV units, while Table 3 covers aged care units.

Table 2: Conversion Ratios for **Retirement Village Units** in Tier 1 and 2 DC Policies

Councils	Community Infrastructure	Reserves	Stormwater	Transport	Wastewater	Water supply
Auckland <sup>1</sup>	0.10	0.10	0.10	0.30	n/a	n/a
Christchurch	0.10	0.10	-	0.50	0.50	0.50
Hutt	-	-	0.50	0.30	0.50	0.50
Kāpiti Coast	0.60	0.60	0.60	0.60	0.60	0.60
Palmerston North	0.44	0.44	0.44	0.44	0.44	0.44
Porirua	0.50	0.50	0.50	0.50	0.50	0.50
Queenstown Lakes	0.54	0.34	-	0.24	0.48	0.50
Rotorua	0.50	0.50	0.50	0.50	0.50	0.50
Selwyn	-	-	-	-	0.50	-
Tasman	-	-	-	0.30	-	-
Waipa	0.50	0.50	0.50	0.50	0.50	0.50
Western Bay of Plenty	0.50	0.50	0.50	0.50	0.50	0.50
<b>Median</b>	<b>0.47</b>	<b>0.39</b>	<b>0.47</b>	<b>0.47</b>	<b>0.50</b>	<b>0.50</b>
<b>Average</b>	<b>0.32</b>	<b>0.30</b>	<b>0.30</b>	<b>0.39</b>	<b>0.46</b>	<b>0.41</b>

<sup>1</sup> Auckland Council does not set DCs for water or wastewater because Watercare – an Auckland Council CCO – sets infrastructure growth charges to recover growth-related water and wastewater infrastructure costs instead.

Table 3: Conversion Ratios for **Aged Care Units** in Tier 1 and 2 DC Policies

<b>Councils</b>	<b>Community Infrastructure</b>	<b>Reserves</b>	<b>Stormwater</b>	<b>Transport</b>	<b>Wastewater</b>	<b>Water supply</b>
Auckland <sup>2</sup>	0.10	-	-	0.20	n/a	n/a
Christchurch	-	-	-	0.10	0.40	0.40
Hutt	-	-	0.50	0.30	0.50	0.50
Porirua	0.40	0.40	0.40	0.40	0.40	0.40
<b>Median</b>	<b>0.05</b>	-	<b>0.20</b>	<b>0.25</b>	<b>0.40</b>	<b>0.40</b>
Average	0.13	0.10	0.23	0.25	0.43	0.43

According to Table 2, 12 Tier 1 or 2 Councils separately classify RV units in their DC policy with a range of corresponding conversion ratios set for them. Generally, the conversion ratios set for RV units are about 0.5 or lower, but with some Councils setting higher ones. For example, Kapiti Coast sets a ratio of 0.6 based on average household sizes of 2.5 for all dwellings but only 1.5 for RV units. Across infrastructure types, the lowest conversion ratios are typically set for community infrastructure, reserves, transport, and stormwater. This makes sense as RV units are likely to generate relatively minor demand for these activities – except for stormwater – due to:

- the older age and relative immobility of village residents, coupled with
- the often-significant onsite provision of activities and facilities for the benefit of residents.

Fewer Councils separately identify/classify aged care units, with only four singling them out in their current DC policies. However, where aged care units are separately classified, they tend to attract very low conversion ratios, especially for community infrastructure, reserves, transport, and stormwater. Again, this makes sense, as residents of aged care units are generally highly immobile and unlikely to leave the village often, if at all.

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<sup>2</sup> Auckland Council does not set DCs for water or wastewater because Watercare – an Auckland Council CCO – sets infrastructure growth charges to recover growth-related water and wastewater infrastructure costs instead.

## 4. Review of Resource Consent Documentation

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### 4.1. Introduction

To obtain more direct evidence of the likely infrastructure demands of typical RVs units (and aged care rooms), we reviewed numerous resource consent applications to scan for any information on modelled or expected infrastructure demands, either per unit, or for the development overall. This section presents our findings.

### 4.2. Review Approach

Resource consent applications lodged in New Zealand must include an Assessment of Environmental Effects (AEE) that consider the proposal's likely environmental impacts across various dimensions. While the focus and content of each AEE may differ based on the specific development proposed, most include an assessment of infrastructure impacts so that the Council(s) involved can determine whether sufficient capacity exists to service them. As a result, good information on the likely infrastructure demands of RVs may be embedded in the AEEs lodged for them. Accordingly, this section describes the infrastructure demand information that we managed to extract from AEE's filed recently in New Zealand for new RVs, or expansions to existing ones.

### 4.3. Key Findings

The discussion below summarises salient information found in recent AEE's for eight new or expanded RVs across New Zealand. Where possible, we have converted the estimated infrastructure demands into a per unit or per room equivalent for ease of comparison with the conversion ratios set by TCC and other Councils as per the previous section of this report.

#### **Water and Wastewater**

The AEEs show that the water and wastewater demand of a typical RV resident are akin to those of residents living in a "typical" dwelling. Hence, differences arise mainly due to the smaller average household sizes of RV units, which we understand the policy already (largely) accounts for.

That said, we note that some proposed development's expected village water and wastewater usage to be lower than average on a per resident basis, but that this was offset by demand from visitors and staff. Consequently, the overall average for the village (per resident) more or less matches the local equivalents for a typical household/dwelling.

#### **Stormwater**

Just like water and wastewater, RV stormwater demands are also unlikely to differ significantly from the average on a per unit or per resident basis as they are driven purely by the quantum and nature of impervious surface area (ISA). Consequently, the stormwater demands of new or expanded villages in Tauranga should probably be assessed just by considering their impacts on ISA.

## Transport

Fortunately, many of the AEEs that we found for new or expanded RVs included detailed traffic assessments, which presumably formed part of Integrated Traffic Assessments (ITAs). Amongst other things, these traffic assessments provided direct estimates of the number of daily and AM/PM peak trips for either:

- The overall development (i.e. including both RV and aged care units), or
- RV and aged care units separately.

Where the data were provided in aggregate for the overall development, we have assumed that the RV units generate double the traffic of the aged care units. This allowed us to split the traffic data out into RV units and aged care units to produce the table below, which shows the estimated traffic demands of seven recently consented/developed villages. As far as we understand, these include traffic generated by residents, plus staff and visitors.

Table 4: Estimated Traffic Demand from AEEs for New/Expanded RVs (Vehicle Trips per Unit per Day)

Village Name	RV Units			Aged Care Units/Beds		
	Daily Avg	AM Peak	PM Peak	Daily Avg	AM Peak	PM Peak
Ryman Kohimarama	3.07	0.17	0.20	1.54	0.08	0.10
Ryman Malvina Major	2.50	n/a	n/a	1.25	n/a	n/a
Summerset Waikanae	3.47	0.35	0.40	1.74	0.18	0.20
Waiiti Glenvar	2.97	0.17	0.07	1.48	0.08	0.04
Summerset Prebbleton	3.03	0.11	0.26	0.37	0.06	0.13
Oceania Melrose	3.50	n/a	n/a	1.75	n/a	n/a
Metlifecare Pakuranga	2.40	n/a	n/a	1.20	n/a	n/a
<b>Median</b>	<b>3.03</b>	<b>0.17</b>	<b>0.23</b>	<b>1.48</b>	<b>0.08</b>	<b>0.12</b>

According to Table 4, the average RV unit generates about three vehicle trips per day, with aged care units closer to 1.5 trips per unit per day. Given that TCC’s DC policy assumes that an average new dwelling generates approximately 10 trips per day, these data strongly suggest that RV and aged care units generate significantly less traffic than average and hence that policy refinements may be appropriate.

### 4.4. Reserves and Community Facilities

The three submissions made by the RV stakeholders strongly argue that villages create very limited demand for Council-funded reserves and community facilities because:

- Residents are in their final life stages, and hence often have limited mobility and/or propensity to “leave the village” for recreational pursuits, and
- The villages also provide (often-extensive) recreational facilities and amenities for residents to enjoy onsite without the need to travel elsewhere.

While the AEEs don’t appear to speak specifically to these points, it is useful to note that the transport figures quoted above support the claim that residents seldom travel offsite. In addition, we confirm that the various villages we reviewed for this exercise do indeed provide extensive



onsite amenities that avoid the need for residents to travel offsite for recreational and social purposes. This is illustrated in the table below, which shows the range of amenities proposed for each new/expanded village in our sample.

Table 5: Planned Onsite Community Facilities at Proposed New/Expanded Villages

<b>Village Name</b>	<b>Onsite Community Infrastructure</b>
Ryman Kohimarama	Amenities include a bowling green, swimming pool, spa, gym, theatre, games room, library, and pool and darts room.
Ryman Malvina Major	Bowls, pétanque course, swimming pool, gym, bar, village lounge, library, café, hair salon
Summerset Waikanae	Amenities include a bowling green, café, restaurant, swimming pool, library, recreation centre, and cinema.
Summerset Prebbleton	Recreation and entertainment activities, a café, communal sitting areas; gymnasium, swimming pool, lounges, library, theatre/chapel, hair salon
Metlifecare Pakuranga	Activity and events spaces, lounges, gym, and pool
Ryman Karori	Indoor pool, spa, theatre, crafts room, gym, activities room, bowling green, library, pool and darts room, residents' workshop

In our view, the provision of these onsite facilities coupled with the generally lower mobility of residents – and hence their much lower travel demands -means that RV and aged care units are highly likely to place significantly lower demands on DC-funded reserves and community facilities than a typical household/dwelling.

## 5. Review of Other Information Sources

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### 5.1. Introduction

Our final research task was to identify and review other information sources that may help us better understand the likely infrastructure demands of new or expanded RVs in Tauranga.

### 5.2. Participation in Sports (16-Year Trends)

In 2016, Sport New Zealand published a report on trends in sports participation over the past 16 years.<sup>3</sup> It found that weekly participation in sport and active recreation by people aged 65+ fell slightly from 68% in 1998 to 65.8% in 2014. When walking is excluded, the fall was more pronounced, with weekly participation in sport and active recreation for those aged 65+ dropping from 33.3% in 1998 to 27.5% in 2014.

Sport club membership is also on the decline, with the number of people aged 65+ that belong to one dropping from just under 50% in 1998 to just over 33% in 2014.<sup>4</sup>

Overall, fewer people are participating in sport and recreation over time, including older people.

### 5.3. Participation in Sports (2019 Snapshot)

In addition to the trends report noted above, Sport New Zealand has also published other (more recent) data on sport and active recreation participation, which provides a more up-to-date view into the likely infrastructure demands of older people.<sup>5</sup> While this report contains many interesting insights into the relatively sedentary lifestyle of older people living in New Zealand, the table below appears to provide the most detailed information that is relevant here. It shows the proportion of people of each age, gender, or ethnicity that have participated in each sport or activity during the 2019 calendar year. It shows, for example, that 39% of all respondents ran or jogged during the year, compared to only 2% of those aged 75+.

Overall, these data confirm that people aged 75+ are far less active than younger people. While data for people aged 80+ are unavailable, it seems safe to conclude – based on a simple extrapolation of these data – that their participation rates would be lower than those 75+. Finally, given that the recreational activities most commonly done by older people do not utilise Council-funded infrastructure (such as netball or tennis courts), it follows that they generate very low demands for DC-funded reserves and community facilities.

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<sup>3</sup> *Sport and Active Recreation in New Zealand. The 16-Year Adult Participation Trends 1998 to 2014*

<sup>4</sup> On the flip side, gym membership rates increased slightly over the period for most (if not all) age groups.

<sup>5</sup> *Sport New Zealand. 2020. Active NZ 2019 Participation Report. Wellington*

Figure 1: Participation Rates by Age, Gender, and Ethnicity in 2019 (All respondents aged 18 or older)

**Table 8: Proportion of those who have participated in each sport or activity in the 12 months prior among adults in 2019**

% Participated 12 months	TOTAL	Age						Gender		Ethnicity			
		18-24	25-34	35-49	50-64	65-74	75+	Male	Female	European	Māori	Pacific	Asian
Walking	85%	88%▲	89%▲	89%▲	83%	79%▼	66%▼	80%▼	89%▲	86%▲	84%	84%	82%▼
Gardening	46%	25%▼	43%▼	50%▲	52%▲	53%▲	48%	42%▼	51%▲	50%▲	43%▼	36%▼	29%▼
Running / jogging	39%	71%▲	61%▲	49%▲	24%▼	6%▼	2%▼	40%▲	38%▼	38%▼	40%	48%▲	46%▲
Individual workout using equipment	38%	61%▲	50%▲	41%▲	31%▼	19%▼	13%▼	38%	38%	38%	43%▲	50%▲	38%
Swimming	34%	44%▲	42%▲	41%▲	29%▼	20%▼	11%▼	32%▼	36%▲	36%▲	35%	30%	27%▼
Playing games (eg. with kids)	32%	34%▲	44%▲	47%▲	20%▼	16%▼	6%▼	28%▼	35%▲	33%▲	36%▲	38%▲	25%▼
Day tramp	24%	34%▲	32%▲	28%▲	22%▼	11%▼	7%▼	24%	24%	27%▲	21%▼	12%▼	17%▼
Group fitness class (eg. aerobics, crossfit)	19%	29%▲	31%▲	22%▲	11%▼	8%▼	10%▼	11%▼	27%▲	20%▲	22%▲	24%▲	15%▼
Yoga	17%	23%▲	28%▲	21%▲	13%▼	6%▼	2%▼	9%▼	25%▲	18%▲	16%	14%	16%
Marine fishing	13%	12%	15%▲	15%▲	15%▲	9%▼	5%▼	19%▲	8%▼	15%▲	16%▲	9%▼	6%▼
Canoeing / kayaking	11%	16%▲	14%▲	14%▲	10%	4%▼	1%▼	12%▲	11%	13%▲	10%▼	7%▼	6%▼
Golf	11%	12%▲	12%▲	10%	10%▼	11%	7%▼	17%▲	5%▼	11%▲	10%	8%	7%▼
Road cycling	10%	9%	10%	12%▲	11%	9%▼	4%▼	11%▲	9%▼	11%▲	8%▼	7%	6%▼
Dance / dancing (eg. ballet, hip hop and so on)	10%	20%▲	14%▲	9%	7%▼	6%▼	4%▼	5%▼	15%▲	9%▼	12%▲	17%▲	13%▲
Surfing / body boarding	10%	14%▲	11%▲	14%▲	8%▼	3%▼	0%▼	11%▲	8%▼	11%▲	10%	8%	4%▼
Tennis	8%	13%▲	10%▲	10%▲	7%▼	3%▼	2%▼	9%▲	7%▼	9%▲	6%▼	6%	7%
Table tennis	8%	18%▲	9%	9%▲	6%▼	2%▼	2%▼	10%▲	6%▼	8%▼	7%	7%	13%▲
Overnight tramp	8%	12%▲	10%▲	9%▲	8%	3%▼	1%▼	9%▲	7%▼	9%▲	7%	3%▼	4%▼

▲ Significantly higher than the total  
▼ Significantly lower than the total  
Results are from 2019  
Base: All respondents aged 18 and over

#### 5.4. NZTA Household Travel Survey

The New Zealand Household Travel Survey measures New Zealander’s travel patterns by asking everyone in randomly selected households to record their travel over 2 days.<sup>6</sup> The results offer valuable insights into how, when and why New Zealanders travel, including variations in travel propensity by respondent age. The following excerpts illustrate how the travel patterns of older people compare to the rest of the population.

<sup>6</sup> The survey has run in a range of forms since 1989, mainly focusing on a 2 day travel diary. In 2015, the methodology was changed to collect 7 days of travel information. However, in July 2018 we changed this back to 2 days to make it easier for participants and get better data quality.

Figure 2: Time Spent Travelling per Person per Week by Age (2018 - 2021)

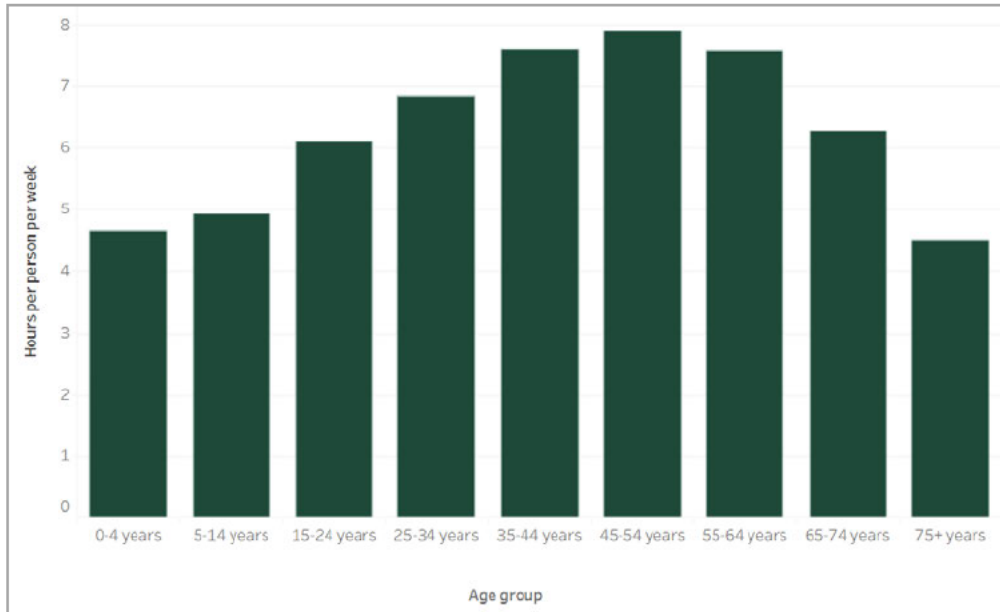
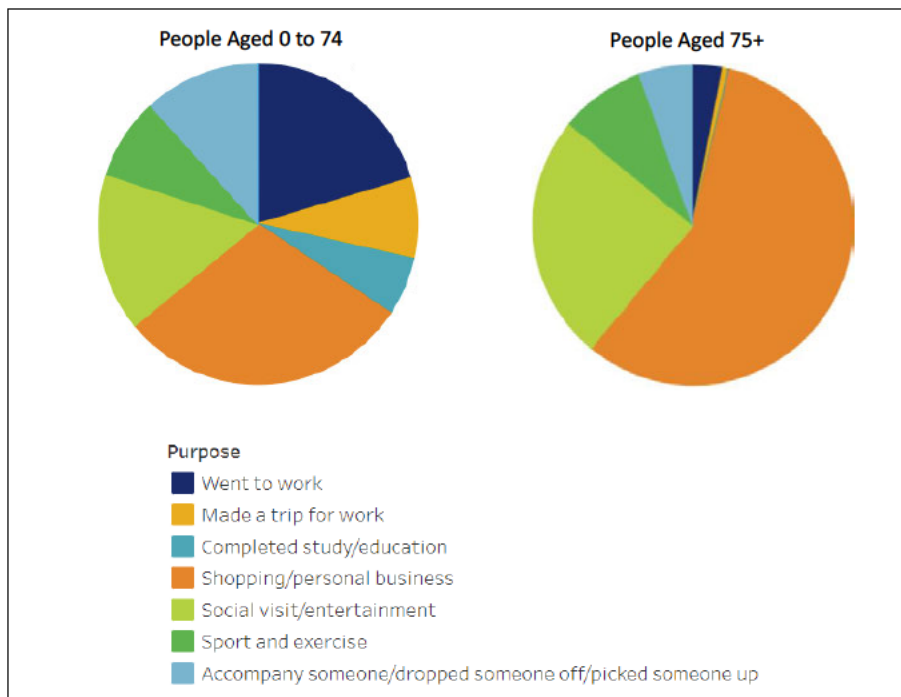


Figure 2 shows that people aged 75+ travel significantly fewer hours per week than younger people. In fact, the average for people of all ages is 6.6 hours per week compared to only 4.6 for those aged 75+.

Not only do older people travel less, but they also travel for different reasons. This is illustrated in the chart below, which compares the purpose of travel between people aged up to 75, and those aged 75 or older. Note that most travel by people aged 75+ is for discretionary reasons (i.e. non-work and non-school) which enables it to be undertaken off-peak and thus minimise contributions to congestion during the busiest times.

Figure 3: Purpose of Travel by Age Group



While not shown in the charts above, this survey also shows that people aged 75 or over are more likely to have mobility issues that limit their willingness and ability to travel, including difficulties driving, walking, and taking public transport. Thus, overall, older people appear to place lower demands on the transport network than younger people.

## 5.5. Trip Generation Data

Trip generation data, which are used to estimate the traffic and parking demand associated with new developments, adds further context to the relative travel demands of people living in RV or aged care units. For example, the table below (from the 10th edition of the ITE Trip Generation Manual) shows that RV and aged units generate much lower PM peak travel demands than those living in a standard/detached dwelling.

INSTITUTE OF TRANSPORTATION ENGINEERS COMMON TRIP GENERATION RATES (PM Peak Hour)				
(Trip Generation Manual, 10th Edition)				
Code	Description	Unit of Measure	Trips Per Unit	Setting/Location
				General Urban/ Suburban
<b>PORT AND TERMINAL</b>				
80	Intermodal Truck Terminal	1,000 SF GFA	1.72	
90	Park-and-Ride Lot with Bus Service	Parking Spaces	0.43	
<b>INDUSTRIAL</b>				
110	General Light Industrial	1,000 SF GFA	0.63	
130	Industrial Park	1,000 SF GFA	0.40	
140	Manufacturing	1,000 SF GFA	0.67	
150	Warehousing	1,000 SF GFA	0.19	
151	Mini-Warehouse	1,000 SF GFA	0.17	
154	High-Cube Transload & Short-Term Storage Warehouse	1,000 SF GFA	0.10	
155	High-Cube Fulfillment Center Warehouse	1,000 SF GFA	1.37	
156	High-Cube Parcel Hub Warehouse	1,000 SF GFA	0.64	
157	High-Cube Cold Storage Warehouse	1,000 SF GFA	0.12	
160	Data Center	1,000 SF GFA	0.09	
170	Utilities	1,000 SF GFA	2.27	
190	Specialty Trade Contractor	1,000 SF GFA	1.97	
<b>RESIDENTIAL</b>				
210	Single-Family Detached Housing	Dwelling Units	0.99	
220	Multifamily Housing (Low-Rise)	Dwelling Units	0.56	
221	Multifamily Housing (Mid-Rise)	Dwelling Units	→	0.44 0.18
222	Multifamily Housing (High-Rise)	Dwelling Units	→	0.36 0.19
231	Mid-Rise Residential with 1st-Floor Commercial	Dwelling Units	0.36	
232	High-Rise Residential with 1st-Floor Commercial	Dwelling Units	0.21	
240	Mobile Home Park	Dwelling Units	0.46	
251	Senior Adult Housing - Detached	Dwelling Units	0.30	
252	Senior Adult Housing - Attached	Dwelling Units	0.26	
253	Congregate Care Facility	Dwelling Units	0.18	
254	Assisted Living	1,000 SF GFA	0.48	
255	Continuing Care Retirement Community	Units	0.16	
260	Recreation Homes	Dwelling Units	0.20	
265	Timeshare	Dwelling Units	0.63	
270	Residential Planned Unit Development	Dwelling Units	0.69	
<b>LODGING</b>				
310	Hotel	Rooms	0.60	
311	All Suites Hotel	Rooms	→	0.36 0.17
312	Business Hotel	Rooms	0.32	
320	Motel	Rooms	0.38	
330	Resort Hotel	Rooms	0.41	
<b>RECREATIONAL</b>				
411	Public Park	Acres	0.11	
416	Campground / Recreation Vehicle Park	Acres	0.98	
420	Marina	Berths	0.21	
430	Golf Course	Acres	0.28	
431	Miniature Golf Course	Holes	0.33	

New Zealand research paints a similar picture, with the oft-cited NZTA Research Report 453 – which presents data on trip and parking generation by land use type – shows that RV units generate average and peak daily travel demands that are about 75% lower than a standard dwelling.

## 6. Implications for the DC Policy

This section considers potential implications of our findings for TCC’s DC policy.

### 6.1. Citywide DCs

TCC currently charges each development a citywide DC towards infrastructure that services all new residents and businesses regardless of where they work or live. The schedule below shows the current charge per standard residential dwelling excluding GST.

Table 6: Citywide DCs per Standard Dwelling ex GST

Asset Types	\$/HEU ex GST	Shares
Water	\$15,131	52%
Wastewater	\$8,331	29%
Stormwater	\$0	0%
Transport	\$274	1%
Reserves	\$522	2%
Community facilities	\$4,933	17%
<b>Total</b>	<b>\$29,191</b>	<b>100%</b>

Table 6 shows that more than 80% of citywide DC relate to the provision of bulk water and wastewater infrastructure, with a further 17% relating to community facilities. Transport and reserves account for the remaining 3%, with no citywide stormwater DCs applying.

In our view, and based on the information summarised and presented herein, we believe that there are compelling reasons to set conversion ratios as per the table below for the purpose of calculating citywide DCs on new or expanded RV developments.

Table 7: Proposed Conversion Ratios for Citywide DCs

Asset Types	RV units	Aged Care units
Water	0.50	0.40
Wastewater	0.50	0.40
Stormwater	0.50	0.40
Transport	0.20	0.10
Reserves	0.10	0.05
Community facilities	0.10	0.05

These proposed conversion ratios acknowledge that typical RV and aged care units generate approximately the same infrastructure demands as a small residential unit for the three waters activities, but that their demands for the other asset types are significantly lower due to:

- The older average age of residents;
- Their relatively limited mobility/activity levels;
- Their limited offsite travel; and
- The onsite provision of social and recreational amenities in lieu of Council-funded ones.

However, at the same time, new retirement village and aged care units do receive “non-use” benefits from new Council infrastructure by improving the amenity of the neighbourhoods in which they reside. In addition, new village and aged care units create network demands from employees and visitors that must be included. The likely overall impacts of these various factors on network demand are reflected in our proposed conversion ratios above.

## **6.2. Local DCs**

In addition to citywide DCs, TCC also charges local DCs to recover the costs of infrastructure that are installed to service growth in discrete parts of the city, including new growth areas.

While we recommend that the proposed new conversion ratios shown in the table overleaf also apply to local DCs, we acknowledge that this is more complicated due to the different way that local DCs are charged. Specifically, while citywide DCs are charged on a per HEU basis, local DCs are charged per lot or per hectare. Accordingly, further work is required by the Council to consider whether or how the changes proposed above for citywide DCs are best given effect to for local DCs, if at all.

## 7. Summary and Recommendations

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This report has considered whether or how TCC's DC policy should be refined to reflect the seemingly different infrastructure demands of retirement village and aged care units. Our review of various data sources suggests that, consistent with submissions received, such units do indeed materially lower demands for certain infrastructure types, namely transport, reserves, and community facilities. While we are clear that these differences should be reflected in changes to the application of citywide DCs, further work is required to understand the need for and/or merits of corresponding local DCs due to the differing way in which they are calculated and charged.





# TAITA DISTRICT CRICKET CLUB

INCORPORATED

P.O. BOX 31-212

LOWER HUTT

TELEPHONE [REDACTED]

3 May 2024

To: The Lower Hutt City Council Mayor and Councillors

From: Taita Cricket Club

## **Feedback on the Draft Long Term Plan – Managing Assets re the proposed demolition of what is known as the Taita Cricket club and the Hutt Marist clubrooms and toilet blocks**

While Taita Cricket no longer owns the Cricket Club that we build with Naenae and Eastern Hutt Hockey in 1984 using volunteer labour, **this submission is 100% in support** of GBH Boxing who hold the current lease of the Taita Cricket Club and Lower Hutt Soccer who own and have the lease of the Hutt Marist Club rooms, plus submissions from Avalon Rugby and Phoenix Academy

### **The reason for Taita Cricket Submission:**

- a. Taita Cricket has a huge affinity to the club rooms that we built with volunteer hours in the early 1980's, we know that the building is strong and that it is now being fully utilised by GBH Boxing and associate boxing clubs which is adding huge value to the community
- b. Taita Cricket have utilised the south end changing room of the hutt marist club rooms to store our cricket covers required to play premier cricket for the last five years. In the last year we have needed to use the ex-First aid room, because of the size of the covers we need double door access on to the park.
- c. Taita Cricket premier player regularly use the gym set up by Avalon Rugby and Lower Hutt Soccer, given that the Gym promised by all FPS and the Council for the Ricoh Centre did not eventuate because of the existing gym at Walter Nash, which was subsequently shut down. Noting the council gifted the gym equipment to the Lower Hutt Soccer and Avalon Rugby

## **HISTORY**

When Taita agreed to sign up to Fraser Park Sportsville in 2012, it was agreed that at some point we would hand the building over to the council at zero cost, noting it cost both Cricket and Hockey more than \$150,000 to build and fit out the clubrooms using volunteer hard yards.

The lease was not formally handed over to the council until April 2019, At that point Taita ceased paying the lease and rates. Prior to that time the cricket and hockey clubs had paid to the council the agreed lease and rates. The clubs separately paid for insurance, power, internet etc.

In 2012 when it was agreed that Taita would hand the building over to the council it was initially decided the building would be demolished and converted into a car park.

**However-** there were numerous discussions as all parties agreed the building was rock solid and potentially a great asset to the council and or Fraser Park Sportsville.

### **There were discussions at senior levels at Sportville Board and the Council re**

- Possible using it as a hostel for sports teams playing on the park but that idea died as the cost and effort was high.
- The council wanted to use it as office accommodation for Downers who were the parks and reserves contractor at the time and up unto now.
- Leased to various boxing gyms who have upgraded the facility to make it a state of art boxing facility.
- 

The issue of demolition has only recently surfaced as a result of the letters that Lower Hutt Soccer and GBH Boxing got , stating that the leases would not be renewed post end of June because both buildings in the **council view** were end of life and costing the council significant money to upkeep that we knew of the council's intent.

## **LACK OF TRANSPARENCY**

After doing some research we are now aware that the council made this decision back in August Last year.

The Mayor and Councillors regularly state that this council is consultative and transparent. However, in this instance the total opposite has occurred. When the Council officials were considering the future of the buildings on Fraser Park, they should have actively consulted with the lease holders and users to understand the usage and value that these buildings were adding to the community. Had this happened we could have had this discussion back in July 2023 and worked collaboratively for a win win solution.

The approach taken by the council to unilaterally decide with zero consultation with clubs that are adding huge value to the community is incredibly disappointing.

## **BUILDINGS**

Lower Hutt Soccer and GBH boxing have shared the email received from Andrea on 14 March at a meeting held with the lease holders and all key users of both buildings. In this email Andrea stated

*These buildings are now at, or near, the end of their lives as assets and the programme of work to demolish them will resume later this year. In line with this, unfortunately the current arrangements and leases in place will come to an end.*

*As you may be aware, Councils around the country are facing significant financial challenges as we develop our Long Terms Plans (LTP) for 2024-34. For Hutt City Council, those challenges include the future affordability of our community facilities and parks and reserves. Due to past under-investment, many of our assets will require significant work over the next 10 years or so. At the same time there is increasing demand from our growing population and new groups and activities. As our city grows and changes, we need to reconsider our approach to how we provide and look after these community facilities and green spaces. We want to ensure we can continue to meet the needs of our communities while not increasing the burden on ratepayers.*

### **Response to Andreas comments**

Taita Cricket can only speak with confidence about the cricket club. Up until 2019 Taita Cricket and Naenae hockey fully maintained the building, including painting it, there was zero cost and effort required by the council. Since that time, we are aware that the council replaced some spouting at the front of the building. This is the only cost the council has incurred.

Andrea states that the council needs to respond to growing demand and new groups and activities, yet in the same breath the email states that the council wants to demolish two building that are fully utilised 12 months of the year for founding member clubs from Fraser Park, the Phoenix Academy and multiple community groups.

From our understanding there are no cost to the council, and you want to exit large numbers of users from two quality facilities – this does not make sense.

And Arther stated in his email to Taita Cricket and GBH Boxing on the 31<sup>st</sup> of April

*In specific reference to the Pavilion given it is currently a Council building, Council will need to ensure it meets its legal responsibilities. These would currently include structural requirements such as earthquake strengthening, asbestos management plans, building*

*renewals etc. There are other costs in relation to the day-to-day running of the building including rates, insurance, Building Warrant of Fitness (BWOF), power, rubbish removal etc. Some of those day-to-day costs could potentially be made the responsibility of a Lessee but it would still mean Council being responsible for managing the structural aspects of the building, and necessarily making provision to do so from either loans or rates.*

*If Taita Cricket has any structural reports, seismic assessments, or asbestos management plans that support that assertion, Council would be very pleased to receive them, otherwise it will need to assume that the building may be below 33% of the New Building Standard (NBS) and may have Asbestos Containing Materials (ACM's) present.*

## **Response to Arthur's comments**

When owned by the cricket club there was absolutely zero cost to the council, we paid the council the required rates, lease and we covered insurance, power, waste ect.

**We are very concerned with your comment Arther** stating that we have to prove that the buildings have been seismically tested and have no asbestos, and if we can't prove then you are taking the stance that the buildings are under 35% earthquake strength and have asbestos.

If this statement is true, then the council **MUST APPLY** this thinking to all clubrooms on Lower Hutt City Grounds not just Fraser Park. Being part of club sport in the hutt since the mid-80s, I have been in most clubrooms in the city and I can categorically state that the taita cricket club leaves most for dead.

Will the council be writing to every club in the city with clubrooms on parks and reserve land to ask them to undertake seismic and asbestos testing. You can't **JUST USE** this rule for the two buildings on fraser park.

As mentioned above the cricket club was built of brick and wood in 1984 and given that the council own the bottom half of the building, the council must have full records of the design.

As an aside if the council decides, despite the compelling arguments to demolish both buildings it will cost the council significant \$ to have the buildings tested for asbestos.

## **VALUE OF THESE BUILDINGS TO TAITA CRICKET**

I will comment re the taita cricket usage of the facilities, noting as outlined above Taita Cricket 100% supports the submissions re usage from Lower Hutt Soccer, Avalon Phoenix Academy and GBH Boxing

- Taita Cricket for the last five years have used the changing rooms at the southern end of hutt marish to store our large covers that 28m x 17 m covers that we are required to have to play premier cricket. It is critical that we have storage that has double doors to store the covers. If the hutt marist toilet block is demolished, we will need a storage facility of equal size to store these covers.
- Taita Cricket players utilise the gym created by lower hutt soccer and avalon, on a regular basis pre and during the cricket season.
- Taita Cricket, until the council made the decision 2 years ago to allow softball to use the changing rooms in the taita cricket club for storage were regular users of those changing rooms.

Taita Cricket is totally mystified as to why the council are totally fixated on demolishing both buildings given that

- It is not costing the council a cent to maintain
- There is huge usage by community groups in both buildings regularly and
- Most important we are ADDING HUGE VALUE to the local community by fully utilising both facilities 7 days a week

## **WHAT IS COUNCILS PLAN FOR USERS OF FACILITIES IF YOU CHOICE TO DEMOLISH**

If the council even after giving serious consideration to the submissions re the proposed demolition go a head with your plans to demolish

- To provide sufficient storage room to enable taita cricket to store our covers that are 28m x 17m
- Relocation of the gym that was promised to all founding member clubs when we signed up to join sportsville
- What additional changing rooms will be made available because the changing rooms in the nobby house are not sufficient for the users of the park and the changing rooms at Ricoh are only designed to be used for founding member clubs

## **ALTERNATIVE USE OF CRICKET CLUB**

If the council could find GBH Boxing suitable Accomodation that was in close proximity and value add, the taita cricket club would make a perfect gym and we could reinstate the gym currently used to changing room, which are in short supply on the park.

Or

If the Lower Hutt City Council cant reach an agreement with the Fraser Park Sportsville board re the ongoing fiscal viability of the Rioch Centre then the cricket club offers an alternative social space for taita and other founding member clubs

### **KEY QUESTIONS FOR THE COUNCIL**

Under the local Government Official Information and Meetings Act can we please request the following information

1. What was the rational for no formal consultation with the impacted clubs using both buildings prior to the council making a decision in august of 2023 and why did it take 7 months for the council to communicate that decision to the impacted clubs
2. What is rough cost for seismic and asbestos testing for clubroom facilities
3. Will the council require all clubs with facilities on the parks and reserve land to undertake the seismic and asbestos testing and assume if they don't that their building has asbestos and is lower than 35% earthquake proof. And will council be writing to all these clubs asking for them to carry out this work.
4. In the email dated 14 Andrea Blackshaw stated *Due to past under-investment, many of our assets will require significant work over the next 10 years* . What maintenance do you anticipate would be needed to be done for both buildings
5. What is the cost to the Council and the Rate payers of Lower Hutt to demolish the two buildings
6. If both buildings are fully demolished what is the councils plans to provide alternative change rooms and toilets. Noting one facility being the Noddy House would be insufficient for what is Wellington Regions largest park
7. What is the councils plan to provide
  - a. Replacement cover storage facilities for taita cricket
  - b. Replacement gym that is used by multiple codes.
8. How does the council plan to communicate to the rate payers of lower hutt that they are spending x dollars to demolish two quality facilities that are well used by the community and build a new changing room at a cost of \$ dollars. When at the same time you are putting up rates and need cash to fix the multitude of water leaks.

9. What is the council's commitment to the Taita Pomare Avalon Community re reducing facilities for community groups to use
  
10. Had Fraser Park Sportsville not been built would the council still plan to demolish the cricket club, knowing that the cricket and hockey clubs built it and it was still being used. If the answer is no then my only conclusion can be that you are only wanting to demolish it because it was in the initial plan in 2012 and all reasons relating to asbestos seismic testing and cost to the rate payers is erroneous.

### **SPEAKING TO THIS SUBMISSION AT COUNCIL MEETING**

Taita Cricket wishes to speak to the submission at the appropriate council meeting

Dave Gillespie  
President Taita Cricket

**From:** [studiojackson@thrivepilates.nz](mailto:studiojackson@thrivepilates.nz)  
**To:** [haveyoursay](#)  
**Subject:** [EXTERNAL] Paid Parking - Affecting Small Business owners  
**Date:** Wednesday, 1 May 2024 3:53:05 pm

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To whom this may concern,

I am writing to you on behalf of many small business owners on Jackson street in Petone. I myself own a boutique Pilates studio in the heart of Jackson street just above Unichem pharmacy.

Being a small business with a maximum of 8 clients per class we are a destination business with all clients driving and parking to attend classes.

Paid parking will be absolutely crippling for our business, because it will impact all our customers.

Already we are seeing the affects of the new government where many Wellingtonian's are losing their jobs and are now no longer have the disposable income to attend Pilates classes. Therefore our classes sizes have significantly reduced. Consequentially we are now having to cancel several classes a week.

The small businesses on Jackson street have gone through enough battling to survive during the affects of Covid. Now paid parking is threatening to quite frankly decimate whatever hope we might be clinging onto to keeping our heads above water!

You only need to take a walk down Jackson street each month to witness the closure of another business. To name a few over the last 6/12 months; Flint Social, Cheddar, The French Larder, Cake it Forward, Vivid Life Photography, Spice Traders, Pieces of Eight Tattoo Studio, Eva Day Spa, 18 Cafe (formerly Adzuki Bean) and Eat Your Greenz to name just a few.

My clients tell us that they come to our studio rather than the Thrive in Wellington due to the difficulty and expense of parking in central Wellington. We even have clients based out in Island bay who are prepared to make the trip out to Petone for this very reason.

On a personal level I live in Petone with my partner and 14 month old baby boy. As a parent I am concerned that paid parking on Jackson street will drive people to park down the side streets. The affect this will have on local residents with noise and light pollution is a real concern to me and others as it is already a challenge to find on-road parking spaces close to our homes. More importantly general parking spaces on such small side streets will become a major safety hazard for small children and families, which make up for a large percentage of the inhabitants of Petone!

Many thanks for listening to these fears and taking this matter extremely serious for the survival of many businesses on Jackson Street

Fiona



May 2024

David Tripp

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I wish to present orally on my submission.

### Summary

Climate change will be catastrophic for Petone, Moera, Gracefield, Seaview and the Eastern Bays – making large portions of these suburbs uninhabitable.

The ability to reduce the impact of these impacts is rapidly closing.

The 2024 Hutt City Council Draft 10 Year Plan:

- Makes only vague mention of these cataclysmic impacts;
- Provides no clear framework or pathway to achieve Council’s own commitments to reduce these impacts;
- Does not advance mode-shift (despite this being foundational to Council’s already agreed Integrated Transport Strategy); and
- Invests heavily in projects which will entrench car dependence and therefore exacerbate climate change.

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*Yes, the taps need fixing, but the house is on fire.*

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### Recommendations

Council should:

- Create a credible and transparent plan to achieve its CO2 reduction goals and embed this in its 10 Year Plan.
- Require an urgent implementation plan for its Integrated Transport Strategy
- Rapidly progress an integrated cycling network, along with other measures in the Integrated Transport Strategy, to achieve rapid mode shift.
- Include in your Plan’s key performance indicators:
  - Measures of Hutt Valley wide CO2 emissions in the Sustainability and Resilience measures (page 56)
  - Mode shift targets consistent with your Integrated Transport Strategy in your Transport measures (page 67)

### The Inconvenient Truth

The following map shows inundation in Petone by 2,100 on what are sadly increasingly conservative assumptions<sup>1</sup>:

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<sup>1</sup> Source: <https://mapping1.gw.govt.nz/GW/SLR/>, 1.0 m storm surge, based on 0.8 metres sea level rise at 2100. Climate Pathway SSP 2 – 4.5 (Currently policy settings, the step above the “Paris Pathway”) resulting in p50 sea level



The Draft Plan notes further rapid deterioration into next century with sea level rise (excluding storm surge and vertical land movement) of 1.65 to 1.94 meters in 100 years.<sup>2</sup> All of Petone, Moera, Seaview and Gracefield will be uninhabitable. Remaining inhabitable areas of Eastbourne will be completely inaccessible. Yet your plan is muted – saying “coastal property and roads *could* be submerged”<sup>3</sup>. This is an appalling caricature of the loss of whole suburbs.

Climate change will have these catastrophic impacts on my community within the lifetime of my children. In addition, significant investment is proposed in this Plan for Petone that will be under water in the foreseeable future.

It is therefore critical that we respond urgently by reducing CO2 emissions. We get once chance at this.

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rise of 0.57 m and -0.28 m vertical land movement (VLM), as per Searise.takiwi.co.nz (site of the joint Victoria University, NIWA and GNS Science combined Sea Level Rise project)

<sup>2</sup> Page 211, Draft 2024 10 Year Plan

<sup>3</sup> Page 186, Draft 2024 10 Year Plan

The Lower Hutt Climate Action Pathway, adopted by Council, has a goal of 50% reduction in emissions by 2030.

This is not an ‘aspirational target’ – it is what needs to happen to save the homes of thousands of your residents.

However, the 2024 10 Year Plan has no credible viable plan to:

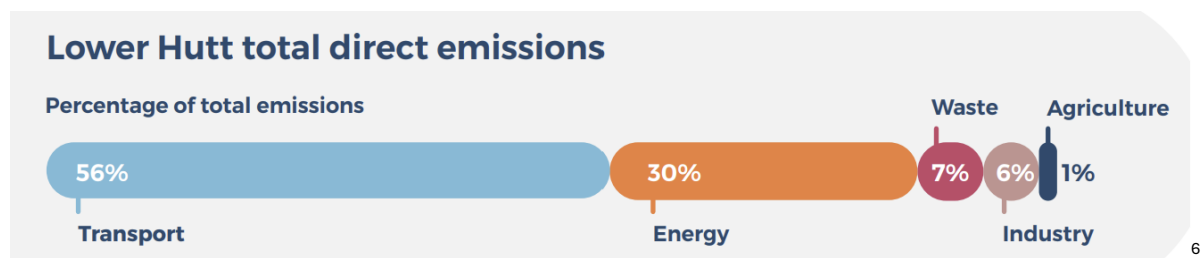
- Achieve anywhere near its total 50% reduction target by 2030 (and no forecast reduction is even stated)
- And in particular, make any meaningful dent in its transport emissions.

Council’s plan focuses on adapting to climate change (which is also necessary) but does little to prevent it. Your principles only “consider” climate change in everything you do.<sup>4</sup> If Council’s role is to “support and enable neighbourhoods and communities to thrive” it would seek to a much greater extent to prevent climate change. We are not thriving if my whole community is made homeless.

The first guiding principle of your financial strategy is to “achieve intergenerational equity, by spreading costs between present and future ratepayers”.<sup>5</sup> However, we are relentlessly creating intergenerational *inequity* by not addressing climate change now. We are borrowing from our children and even more from our grandchildren.

## Transport

CO2 emissions in the Hutt Valley are as follows:



Council is appropriately pursuing reductions in its corporate emissions and in waste management. However, these pale into insignificance next to the reductions necessary in transport – given its contribution to total emissions.

The appropriate response, as seen in your Integrated Transport Strategy, is to “break our habit of car use”<sup>7</sup>. However, Transport investment in the Draft 10 Year Plan is focused around a very few ‘signature projects’ that cement car use as the predominant form of transport:

<sup>4</sup> Page 21, Draft 2024 10 Year Plan

<sup>5</sup> Page 24, Draft 2024 10 Year Plan

<sup>6</sup> Page 8, Te Ara Whakamua o Te Awa Kairangi ki Tai Lower Hutt Climate Action Pathway

<sup>7</sup> Page 26, Integrated Transport Strategy 2022

- Riverlink: decongests SH2 and the Melling Bridge, facilitating a *growth* of traffic on SH2 from 49,000 vehicles per day in 2018 to 59,700 in 2036.<sup>8</sup> This completely swamps uptake on the associated “network of walkways and cycle paths”.
- The Cross Valley Link: While proposed as a “multimodal corridor”, there has been no demand analysis for active modes that supports this corridor. The clear emphasis is to decongest vehicle traffic on the Esplanade.

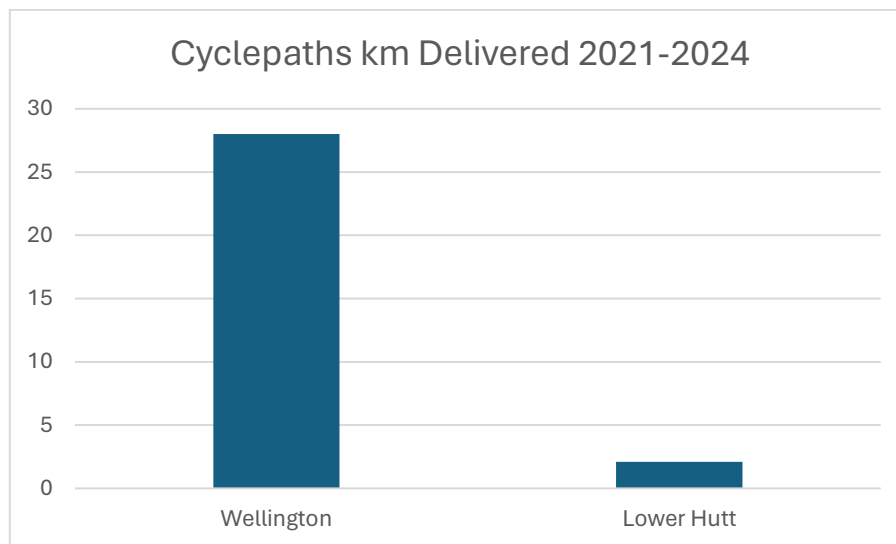
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*Building more roads  
to prevent  
congestion is like  
loosening your belt  
to prevent obesity.*

*Lewis Mumford, 1955*

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The first focus area of the Integrated Transport Strategy was to “develop a connected and safe network that makes it more attractive for people to cycle, walk or use the bus”<sup>9</sup>. This is being rapidly achieved in Wellington:



The 2021 10 Year Plan forecast \$9.428 m over 2022 to 2024<sup>10</sup> However, over the last 3 years, HCC has spent \$2.8 million *planning* key components of this network, and not delivered any. All these projects are now on hold, and expenditure proposed in the plan reflects deferment – not a plan - and is made conditional on Waka Kotahi funding (which appears unlikely).

Your key performance indicator for shared paths and cycleways *over the next 10 years* is to “Hold or improve length”<sup>11</sup>. That is profoundly inconsistent with your Integrated Transport Strategy.

The plan states “Our focus prioritises road safety, encourages mode-shift in transport choice, improved travel options, with a specific emphasis on mitigating climate change and delivery of infrastructure projects in a timely manner.”<sup>12</sup>

On the basis of the above facts, I completely refute this assessment.

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<sup>8</sup> Riverlink Consent documentation, Technical Assessment 9

<sup>9</sup> Integrated Transport Strategy, page 32

<sup>10</sup> Page 58, 2021 10 Year Plan

<sup>11</sup> Page 67, 2024 Draft 10 Year Plan

<sup>12</sup> Page 66, Draft 10 Year Plan

Rapid mode shift away from private motor vehicles is also necessary to:

- Reduce the increasing congestion from rapid population growth. Our population is forecast to grow from 113,000 to 137,000 in 2043 (a 21% increase).<sup>13</sup>
- Improve the health of your people given the significant negative health impacts of a car dominated transport system.

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<sup>13</sup> Page 15, Draft 2024 10 Year Plan

## **Ulalei Wainuiomata Sport Submission**

Thank you for the opportunity to provide a submission. We submit as Ulalei Wainuiomata Sport, a group focused on multiple sports and events for tamariki and rangatahi.

We acknowledge that the local government and Hutt City Council have severe pressure with infrastructure and water and have to make very difficult decisions regarding what they must prioritise to achieve good outcomes for Te Awakairangi ki Tai.

In our submission, we ask that the Hutt City Council support us in our vision to provide sport and engagement for tamariki and rangatahi. We ask for this support in the form of space for tamariki, rangatahi, and all sports to use in Wainuiomata year-round. We believe an artificial turf firmly meets a community need and will benefit many to participate and stay active with all types of sports.

### **Our history**

Ulalei Wainuiomata Sport, a distinctive sports club, was founded in 1995 in Wellington. Its origins are deeply rooted in the Samoa village of Vaiala, just minutes away from Apia. The Wellington version of the club, established by Ken and Winnie Laban and others, initially focused on touch football and hosting sevens rugby tournaments. Today, the administration's sole dedication is to promote sports and engagement for the tamariki and rangatahi. Ulalei not only participates in local competitions but also organises events for tamariki in Wainuiomata, setting us apart from other sports clubs.

### **Kaupapa**

The Ulalei kaupapa is about giving our tamariki, rangatahi and whanau the opportunity to play; and play together with whanau, no matter what the sport.

The way we ensure that every child and family gets this opportunity is simple: ***hold the events in Wainuiomata and at no cost to whanau.*** By holding events in Wainuiomata addresses one significant barrier - travel.

Because we do not charge tamariki or their whanau, we apply for funding to other providers to remove costs as a barrier. This is the other significant barrier for tamariki and whanau to playing sport and is a key reason for the overall reduction in sport and event numbers in Wainuiomata. We believe our primary school soccer

competition was a success in terms of player numbers because these two barriers had been removed.

## **2023-24**

Ulalei entered 12 teams in three competitions and two tournaments for touch football and tag football.

Ulalei organised and ran two soccer fun days for Maori and Pasifika children aged 5-12 years at Wise Park.

Ulalei organised and ran an all-Wainuiomata primary schools soccer competition in Term 4 and Term 1 at Wise Park.

Ulalei organised and ran a community tag football competition in Term 1 at Wise Park.

## **Soccer**

### Maori and Pasifika Fun Days

Ulalei became involved with soccer as Capital Football sought assistance and advice as to how it could increase the number of Pasifika and Maori players. The figure for Pasifika was a lowly 3% across all players in Aotearoa.

Ulalei organised a fun day for Maori and Pasifika children during Labour Weekend 2023. The programme consisted of five 15-minute games with a children vs. parents game at the end. Just over 100 tamariki registered, with 120 playing on the day. The extra 20 were “walk-ups” and “drive-bys. " Parents drove past, saw the hive of activity, and rushed home to get the kids' boots and back to the field! Something uniquely Wainui!

Ulalei held a second Fun Day in March 2024, which was attended by over 160 tamariki. It was another great success.

Of the feedback received, two stood out: a parent said her child was not used to playing with Maori and Pasifika children at his school, so he really enjoyed that part of the day. Another said that her family had never been to any community event in Wainuiomata, even though they'd lived in Wainui for years. They really enjoyed the day.

## Primary schools

The Ulalei soccer strategy was simple. We could not just have the soccer fun days in isolation. It needed something else to ensure that those playing at the fun day could continue their soccer journey. The primary school competition was the perfect conduit for this. The simple plan was to hold two Pasifika and Maori fun days which would act as book ends for the summer with the primary school competition being the meat in the sandwich in Term 4 and Term 1.

All of Wainuiomata's primary schools participated. We celebrated the fact that it was the first all-Wainuiomata Primary school soccer competition

We included Te Ara Whanui Kura Kaupapa of Alicetown in our league as we discovered that the kura had a few busloads of pupils travelling from Wainuiomata. The Kura were very happy to be included in our league and promote this with their parent community.

We also included Ulalei teams in the league. Those teams covered the children who lived in Wainuiomata but attended other primary schools over the hill. They included Waterloo, Gracefield, Rata St, and Our Lady of the Rosary primary schools. Again, the parents appreciated having such a local event and allowing their children to play.

So, whilst our initial focus was to increase the number of Maori and Pasifika tamariki playing soccer, it turned out that we had reached all tamariki in Wainuiomata through the primary school league. The Wainuiomata Football Club appreciated that as its player numbers this season have increased by 100 from last season. Such was the success of the Ulalei schools league; the Wainuiomata Football Club transferred its Open Day to Wise Park when our league was on!

## **Touch**

Ulalei plans to replicate its primary school soccer model by running a touch football module in Term 4. Ulalei sees the number of Wainuiomata's primary school teams at Hutt Park and Fraser Park playing in the Total Touch competitions. The question we ask is why can't we do it ourselves at Wise Park and for free? No more trips over the hill. No more fees. Promoting events in Wainuiomata.



## **Tag Football**

Nga Hau e Wha Wainuiomata has run a very successful tag football competition at Wise Park for the past four seasons. That competition is about all whanau playing together. Ulalei has been very proud to have four grandfathers playing in its teams. Two grandfathers (Ken Laban and Masunu Tuisila) have been able to play with their mokos in this competition which is inspiring. Ulalei entered six teams in this competition last summer. Ulalei successfully ran the completion in Term 1 as Nga Hau e Wha Wainuiomata was overcommitted.

## **Total health**

Ulalei promotes heathy living for all whanau but not just in terms of being physically active. Our events promote our community members' mental health too. One moving piece of feedback from a parent was that she was feeling low and unhappy one Monday and had second thoughts about bringing the children to soccer that day. But she was glad she did because the atmosphere at the Ulalei school soccer competition - the Pasifika and Maori music, the children having fun with their friends, parents cheering on their children - lifted her spirits. It was exactly what she needed she said.

## **Carbon footprint (Get Wainui Movin')**

At each of last summer's Ulalei events, the Wise Park carpark was always full to overflowing. What Ulalei will actively promote next summer is having as many tamariki and their whanau walking, riding their bikes and scooters to our events. This is very much in the spirit of the Movin March project which is promoted amongst primary schools across the motu. The strength of holding events locally is that it is minutes away from everyone's homes. This promotes not only healthy living but also quality time with whanau.

The goal next summer is for the carpark to be half full and ultimately, empty!

## **Artificial turf**

Ulalei is aware that previous plans for a Sportsville will not be going ahead. However, we believe artificial turf would allow Wainuiomata increase sport and engagement outcomes and be an excellent asset to the whole community and wider.

The quality of the grounds at Wise Park and all of Wainuiomata is poor. Artificial turf ensures a quality surface all year round. It also ensures that there will be no cancellations for any of the events Ulalei runs or plays in, so there are no disappointed tamariki.

We firmly believe that the installation of a community-run artificial turf in Wainuiomata is not just a necessity but a long-overdue opportunity. This facility will serve as a valuable asset, catering to the needs of all local sports clubs and schools. With the increasing frequency of sports activities throughout the year, from tamariki to adulthood, artificial turf with floodlights will ensure that training sessions are not cancelled. Most importantly, it will prevent transferring games over the hill or having Wainuiomata sports teams use artificial turfs in Petone or Fraser Park to train.

Thank you again for the opportunity to submit and please do not hesitate to contact us for any further supporting information.

3 May 2024

Hutt City Council  
30 Laings Road  
Lower Hutt



To whom it may concern

**Submission on the Development Contributions Policy for the Long Term Plan for 2024 – 2034**

My name is James Beban and i am making a submission on the proposed Development Contributions Policy. Specifically my submission relates to the value of the increase and the impacts that this will have on development with the Hutt Valley. My main concerns relate to the Valley Floor and Wainuiomata. Within this submission, I have made some suggestions to how these rates could be decreased, or where i see there being potential for an over counting of the development contribution relative to the demand generated by a development. The development contributions policy has been prepared with a very traditional townhouse development model in mind. However, with the new District Plan provisions, there is the potential for more apartment developments, which the development contributions policy does not really respond to.

**Background**

I am a Director of Urban Edge Planning Limited. We are a planning, urban design and landscape architecture firm based in Lower Hutt. As part of our role, we assist with a large variety of land development projects within the Hutt Valley and wider Wellington Region. These projects can range from 2 lot subdivisions through to comprehensive residential developments involving 50 plus residential units. As part of this role, we often assist with determining the feasibility of projects. With the current Hutt market, it is very difficult to make developments stack financially. The reasons for this include:

- The housing market and the reduced prices paid for new residential units;
- The costs associated with undertaking a development;
- Holding costs, including interest payments; and
- Ability to secure lending from banks, which require certain profit margins to be acheived (which can range from 15 – 20% depending on the developer, their risk profile etc).

As a result of these market conditions, we are noticing that there are suburbs that have significantly reduced supply of new housing coming online from what we observed three years ago. These suburbs include:

- Stokes Valley
- Wainuiomata
- Taita
- Naenae

M: \_\_\_\_\_@nz

PO Box 39071, Wellington Mail Centre, Lower Hutt 5045

[www.urbanedgeplanning.co.nz](http://www.urbanedgeplanning.co.nz)



With Wainuiomata, part of the reasoning for the decline in new housing supply has arisen due to the significant increase in development contributions that occurred in 2021, combined with reducing housing prices, which made development unfeasible. I would caution the Council against using the building consent data for Wainuiomata, as most of this would be using the old development contributions. Rather, Council should review the resource consent data to give a true picture on the impact of the development contributions in this suburb.

### **New Developments Contribution Policy**

The new development contributions simply make development unfeasible on the Valley Floor and continue to make development unfeasible for Wainuiomata. The level of increase for the Valley Floor would mean that Council fees for a two lot subdivision would be approximately \$67,000.

These fees are comprised of the following:

- Development contribution fees – \$53,000
- Reserve fee - \$10,000
- Subdivision consent - \$4,110

For Wainuiomata, the Council fees would be approximately \$56,000 comprising of the following:

- Development contribution fees – \$41,995
- Reserve fee - \$10,000
- Subdivision consent - \$4,110

These two catchments provide the most developable land for Hutt City, so having development unfeasible in these locations will mean that the projected growth scenarios for the City will likely not be met, and development demand will shift to the surrounding cities. By comparison, the council costs for the same two lot subdivision (allowing for the proposed new 2024 developments contributions) would be as follows for the following cities:

- Wellington City – \$15,000 - \$20,000
- Upper Hutt City - \$37,000
- Porirua City - \$25,000 - \$35,000

These costs are significantly less than the fees for Wainuiomata and the Valley floor.

While Hutt City has had a population boom over the last 5 years, this has largely been driven by a zoning advantage that the Council had over the neighbouring territorial authorities. In particular, Hutt City had a more permissive zoning in the District Plan that allowed for more yield on sites when compared to the neighbouring territorial authorities. However, with the Intensification Planning Process that all the cities in the region have recently undertaken, this competitive advantage has been lost. As such, development will be driven by economics, and with the new development contributions policy, the relative economics of developing in Hutt City will be a lot poorer, when compared to the surrounding territorial authorities. This will be problematic for Hutt City.



Compounding the Hutt City issue is that the new development contributions policy will make it harder for social housing to be provided. There is a range of social housing providers in the Hutt Valley and this development form is already marginal. It is likely for a number of providers, the new development contributions will simply make social housing unaffordable to provide. This has the potential to increase the inequalities within our City.

## Solutions

I do not disagree that development needs to pay for development. However the issue with the new development contributions policy is the rate of increase. Some of the potential solutions to address this issue are as follows:

- Phasing in the development contributions with an annual increase proposed as opposed to one large increase in single hit. I, however, think the annual increases would need to result in a smaller total development contribution for the Valley Floor and Wainuiomata than what is currently proposed under the current development contributions policy (i.e an increase of \$6K – \$7K annually for the Valley Floor).
- Exempting 60% of apartments within an apartment development from the stormwater component of the development contribution payment. The reality is that aspects of an apartment development below the top floor of the building does not generate any stormwater, and therefore should not have to pay for contributing to the stormwater upgrade. I note that there would still be external hard surfaces associated with an apartment development, and it is for this reason I have opted for 30% of apartments to still pay this contribution, in recognition that the hard surfaces on a site external to an apartment needs to be accounted for.
- Ensuring that stormwater aspect of development contributions are not payable if a residential unit installs a greywater reuse system for its roof water. I would note that this option would align with the proposed change to the Natural Resources Plan for stormwater quality.
- Breaking up the Valley Floor catchment into further sub-catchments thereby ensuring the development contributions are more nuanced and that the entire valley floor is not impacted.
- Increase the number of credits that apply to a site in Wainuiomata from 1 to 2. This would incentivise more development in this community by reducing the costs. To ensure that the system is not abused, it might be 2 credits will apply to a site, when 5 or more residential units are provided.
- Apply a 50% credit to social housing providers and to charity organisations to ensure that social housing is not impacted significantly by these increases.
- Where a site has to provide on-site mitigation measures to address a constraint in the system (such as providing on-site wastewater storage), then ensuring there is a 50% reduction in the payment of this aspect of the development contribution. This prevents developers from having to pay for mitigation so they do not stress the system, but equally not have to pay full development contributions (essentially it stops double dipping and ensures that solutions that reduce demand on the system are incentivised).

M: \_\_\_\_\_  
E: \_\_\_\_\_

PO Box 39071, Wellington Mail Centre, Lower Hutt 5045

[www.urbanedgeplanning.co.nz](http://www.urbanedgeplanning.co.nz)



- Remove the requirement for residential units with more than 4 bedrooms to pay 125% of the development contribution. Many of our communities (such as Pacific and Maori families) have multi-generational living, and this aspect of the development contribution unfairly targets larger residential units to provide for these cultural requirements.

### Conclusion

In conclusion, while I understand the need for development contributions, I believe the proposed policy is too blunt, will essentially stop development in large areas of the Hutt Valley and ultimately leave the Council with a larger financial shortfall for funding infrastructure upgrades. I believe a more nuanced policy can address these concerns. I would like to talk to my submission to present these concerns to the Councillors.

Kind Regards,

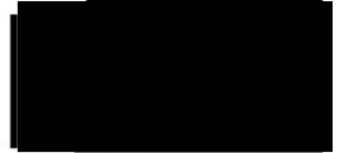


James Beban  
Planner/Director



Mayor and Councilor's

## Submission to Long Term Plan



230 Guyton St, Wanganui 4540  
NEW ZEALAND

Thank you for the opportunity to make this submission.

We understand that budgets are tight, and that cost cutting is the order of the day. We agree with cost cutting, which is operational, but this should not be confused with **wise intergenerational investment in your town and city centers, suburban centers and parks and recreational facilities.**

Towns, cities and suburbs are judged by their centers.

Investing in public spaces, streetscape and making them more usable and vibrant is an investment in economic development as well as community development.

If you want to attract new businesses to your town or city, and retain the ones you have, and if you want to attract good people to work in these businesses, you have to appeal to the decision makers.

High up on their list will be “do I want to live there?” Is there a nice attractive town/city center with outdoor public spaces? Is there a good selection of cafes and restaurants? Are there good recreational facilities? Is the place vibrant? Are there events and attractions? These factors attract or repel business owners and the good people who work in these businesses. This is on top of the more obvious instant benefit of locals and visitors spending money in your town or city if there are nice public spaces to enjoy while they are doing so. It may be a break while shopping, enjoying a performance or a place to enjoy a coffee or lunch.

Stopping investing in such public spaces is a false economy. The investment has a long-term life over several generations so should be paid for by intergenerational loan which reduces the short-term effect on rates increases. The effect on rates is very modest, particularly when compared with the benefits to the community and local economy.

We know that wise public investment in streetscape and usable public spaces attracts private investment in buildings and businesses. Shutting up shop by not investing in public spaces will significantly and detrimentally affect business growth and economic development in your patch and leave your centers tired and unappealing.

While your community is doing it hard with high interest rates and cost of living, a modest investment in usable public spaces shows that you care for your local community.

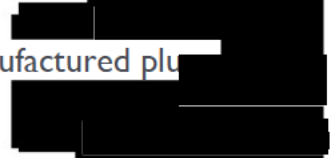
Our Company, Urban Effects, is the natural partner for your Council to create usable, affordable and attractive public spaces. Partnering with the right people is money well spent.

We can design or customize your streetscape furniture to reflect your place and your people, and also have an off-the-shelf product range. Our 'placemaking' approach means that we collaborate with you to help our clients reimagine and revitalize their spaces.

enhancing the urban landscape

We are a New Zealand company with local manufacturing hubs in both the North Island and South Island.

Please see some pictures of a few council led projects we designed and manufactured plus a project for Hamilton Airport we designed and manufactured.



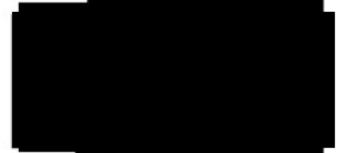
230 Guyton St, Wanganui 4540  
NEW ZEALAND



Timaru District Council – Caroline Bay Playground – 2<sup>nd</sup> Parklet





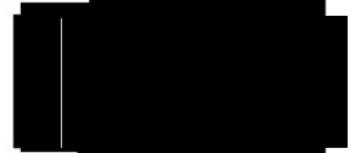


230 Guyton St, Wanganui 4540  
NEW ZEALAND

Selwyn District Council – Rolleston Town Library – Kai Table



Invercargill City Council – City Streets Upgrades Stage I – Custom Benches



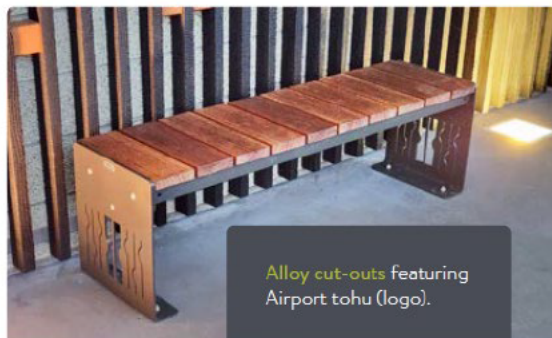
230 Guyton St, Wanganui 4540  
NEW ZEALAND

Christchurch City Council – High Street Upgrade – Custom platform benches

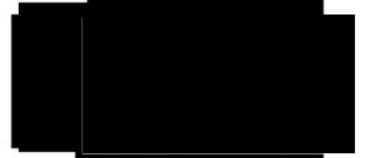
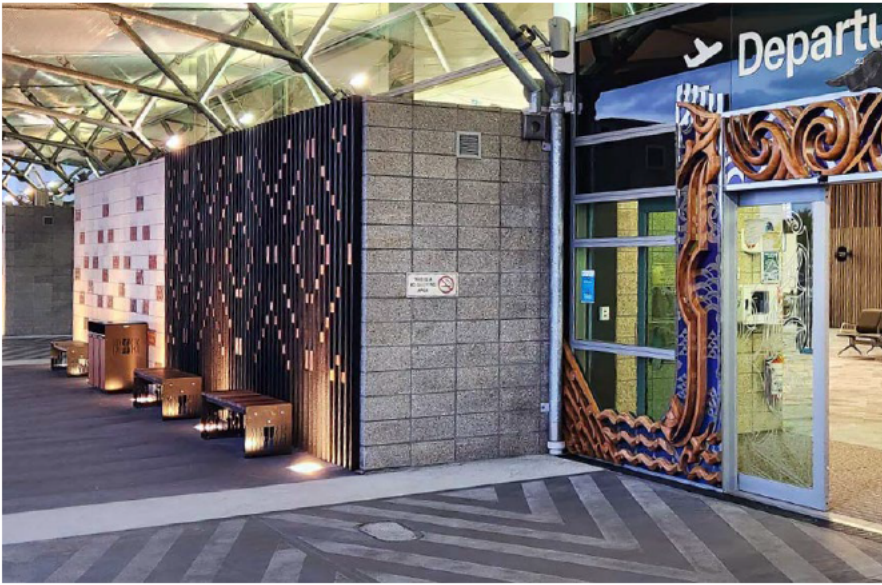


**HAMILTON KIRIKIROA AIRPORT**

Location: Hamilton, New Zealand  
 Contractor: Livingstone Building  
 Architect: Adrian Morton Landscape Architects Ltd  
 Products: Legend Bins Triple - TimberImage™  
 and Legend Steel & Hardwood Benches  
 with logo cut-outs



Alloy cut-outs featuring  
Airport tohu (logo).

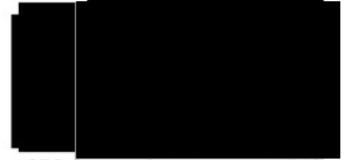


230 Guyton St, Wanganui 4540  
NEW ZEALAND

KAIKOHE MEMORIAL PARK 

Location: Kaikohe, New Zealand  
Council: Far North District Council  
Products: Urban Contour Single BBQ with Stainless Steel Wing, Hydrate Accessible Drinking Fountain, Metro Enclosure Bin- Double, Parkvale Pedestal Table Setting, and Liffiton Seat with arm rest.





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NEW ZEALAND



**LORENZDALE PARK**

Location: Whanganui, New Zealand  
 Council: Whanganui City Council  
 Partner: Stone Soup Community Group, IAD  
 Products: Skillion Shelter, Urban Double Gas BBQ,  
 Woodlands Deluxe Pedestal Table Setting,  
 Woodlands Deluxe Benches, and MODC100  
 Steel Tilt Rubbish Bin

Delivered in collaboration with





230 Guyton St, Wanganui 4540  
NEW ZEALAND

Below are some case study links to a few council led projects we have worked on -

<https://www.urbaneffects.co.nz/casestudies/invercargill-city-streets-upgradestage-1-don-and-esk-streets/>

<https://www.urbaneffects.co.nz/casestudies/tawa-town-centre-improvement-project/>

<https://www.urbaneffects.co.nz/casestudies/queenstown-central/>

<https://www.urbaneffects.co.nz/casestudies/cromwell-town-centre/>

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For more than 30 years, Urban Effects has been working alongside communities across New Zealand. We are proud to be an industry leader committed to the creation of liveable and accessible public spaces and embracing the mega trend to build well-being and resilience for the community and climate through well-designed urban streetscapes and outdoor spaces. Our local manufacturing capability (with hubs in both Whanganui and Rangiora) makes this easy to do.

A snapshot of the range of products we manufacture are –

- \*Park Benches and Seats
- \*Outdoor Picnic Tables
- \*Public Litter Bins
- \*Bollards
- \*Bike & Scooter Racks
- \*Bus Shelters
- \*Tree Protectors
- \*Planters
- \*Drinking Fountains
- \*Portable Grandstands
- \*Commercial BBQ's

\*Commercial Table Tennis Tables  
\*Outdoor Shelters

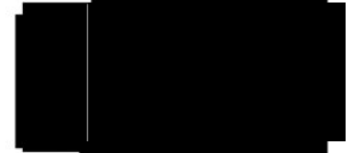
In the first instance contact –

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]



230 Guyton St, Wanganui 4540  
NEW ZEALAND

I commend our Look Book to you by clicking on the link below -

[https://9477367.fs1.hubspotusercontent-na1.net/hubfs/9477367/URBE28909%202023%20PROJECT%20LOOK%20BOOK\\_WEB3-2.pdf](https://9477367.fs1.hubspotusercontent-na1.net/hubfs/9477367/URBE28909%202023%20PROJECT%20LOOK%20BOOK_WEB3-2.pdf)

or by going to one of our websites -

[www.urbaneffects.co.nz](http://www.urbaneffects.co.nz).

<https://logicstreetscene.co.nz/>

Thank you for your time in reading our submission, we look forward to being of service to you in the future.

Kind regards,

The Team at Urban Effects

**From:** [John Welch](#)  
**To:** [Belinda Moss](#)  
**Cc:** [haveyoursay](#)  
**Subject:** [EXTERNAL] Eastbourne Summer Pool  
**Date:** Monday, 29 April 2024 5:26:56 pm

---

Hi Belinda

John McKinnon in his piece in the April edition of the Eastbourne Herald suggested we make submissions to ECB about our pool.

You might recall my submissions in 2022 and 2023. These went nowhere so I question why I should bother to raise the issue again. The work done by the Eastbourne Summer Pool Action Group is encouraging but it appears that Council officers have once more decreed: Eastbourne Pool does not pay its way.

There are some interesting issues here. Pools and libraries are council amenities at the core of service delivery by territorial authorities nationwide. There is a cost to provide them and in the case of HCC, their published breakdown of costs says that Pools account for 4.96 cents in every dollar of rates revenue. If we assume that Eastern Bays rates contribute some \$10million to council coffers, then we are being well and truly short-changed on what is committed to the running of our pool which as we well know, attracts patronage from outside of the local community.

During the past season, I have despaired at the inefficient staffing at the pool. On numerous occasions, particularly on bad weather days and outside school holidays, the number of staff on duty (usually four) exceeded the number of swimmers. John McKinnon has established that the minimum number of trained lifeguards is two and this is perfectly adequate for any time except during weekends and school holidays on days when there is fine, warm weather and family groups attend in high numbers.

Council management seems unable to work out when to not have four rather than two lifeguards.

This led me to consider whether there might be a more efficient way of managing the pool. The council could let a management contract for the season. It would need a two-person partnership (lifeguard trained) with one of the partners at the pool at all times. The managers would then run the roster for the council employed staff and suitably trained community volunteers.

Payment for the managers would be based upon the total wages paid during the 2023/24 season so when taking out the waste due to over-staffing and the use of volunteers, the pool could be open from say mid-November to the end of March. Council would remain responsible for all other running costs and after paying the managers a living wage for 40 hours per week each, any surplus is paid out as a bonus.

Having a couple of grown-ups running the pool might be a revelation.

What do you think? I know council officers find every excuse to protect their little fiefdoms but the mayor might be more inclined to consider it.

I do hope ECB will at last take up this matter and not be fobbed off by the bureaucrats.

**John Welch**

[REDACTED]

[REDACTED]

**Lower Hutt 5013**

**NEW ZEALAND**

**Email:** [REDACTED]

**Ph: +** [REDACTED]

**Mob:** [REDACTED]



# Submission on the Lower Hutt 2024-34 Long Term Plan

## from Wellington Fish and Game Council

### **Fish and Game**

Fish and Game is a statutory entity established by Parliament under the Conservation Act 1987 to manage, maintain, and enhance sports fish and game birds and their habitats throughout the country. This model is unique in the world as it requires Fish and Game to manage a public resource and the habitats in which they reside for the benefit of all New Zealanders.

Sports fish and game birds are not the only species that Fish & Game protects with its dedicated environmental work. Its defence and restoration of rivers, lakes and wetlands, and the habitat they provide, ensures protection for endangered indigenous species like bittern, fernbirds, marsh and spotless crane, mudfish, eels and galaxiids to name just a few.

Wellington Fish and Game Council (WFGC) is the statutory manager of sports fish and gamebird resources in the Greater Wellington region and has statutory functions to maintain, manage, and enhance habitats for these species regionally.

WFGC have a strong focus on environmental advocacy and habitat protection. The legislative responsibility to maintain, manage and enhance the sports fish and game bird resource and their habitat encapsulates protections for all other species in this environment. Support in this multi-decade endeavour is sincerely welcomed. Ultimately, the environment supports us, and all other species. Ensuring and increasing ecosystem health will allow for everyone, everywhere, to enjoy all those species both native and introduced which we value so highly.

WFGC represents the interests of over 8000 license holders (sports fish anglers and game bird hunters) in the region. These recreational pursuits are part of New Zealand's cultural heritage and are woven into the fabric of our society and ethos. These New Zealanders regularly connect with nature through their angling and hunting pursuits and recognise the value of freshwater and wild habitats. They are heavily involved in bird surveys, predator control, wetland restoration and outdoor education and are, in many cases, better informed on biodiversity issues than most outdoor recreationists. Anglers and hunters have a genuine respect for the environment learned through experience.

Many of these license holders are also rate payers and WFGC expects that their interests and the interests of all ratepayers in the region are fairly represented in the Long-Term Plan and into the future.

WFGC welcomes the opportunity to provide feedback on the Lower Hutt City Council's 2024-34 Long Term Plan. This submission focuses on the issues which have a potential impact on freshwater, as drinking water, storm water, and wastewater, and development all impact freshwater ecosystems.

### **Water services**

The consultation document states that fixing pipes, seeking feedback on residential water meters, and investing in other water infrastructure to ensure they are fit for purpose are top priorities, due to previous underinvestment in key infrastructure resulting in aging pipes and the risk of future water shortages.

WFGC supports option 2, as fixing leaks should be the greater priority over domestic water meters and finding new supply / storage. If reform and/or central government can assist with funding, Option 2 should be chosen. Option 1 shows it will take almost a year to address the current backlog of leaks (839 leaks cited in the consultation document) which does not consider the need to repair the new leaks which will invariably occur during the year.

### **Water meters**

The Long-Term Plan suggests installing domestic water meters, with the costs for installing taken from the 'water services pool'. This is suggested as increasing demand for water will outstrip future water supply capacity and create significant water related infrastructure costs.

We understand there are high levels of residential water use and do support the introduction and roll-out of domestic water use in due course. However, we do not see this as being more of a priority at this time than fixing the leaks (which will reduce water loss, and hence reduce water pressure on the reservoirs and bores).

WFGC supports measures which reduce water use, and water meters, alongside education, are a way to do this. However, costs for meters which remove available funding for repair and maintenance of the infrastructure (the degradation of which causes huge losses of water availability), pushes the onus onto the consumer, rather than the supplier. Fixing infrastructure should be the priority, and water meters could be rolled out to the larger commercial and agricultural users first, with the user who benefits from the water paying for the meters and their maintenance.

### **Transport and resilience projects**

The consultation document explains that the forecasted population growth will add increased pressure on houses, water infrastructure, roading etc, and proposes that developers should contribute to cost of growth-related infrastructure. WFGC support this concept.

### **Climate change**

The Long-Term Plan consultation document states that climate resilience is a top priority, however there is little discussion in this document around improving storm water and wastewater infrastructure to address climate change driven fluctuations in frequency and amount of rainfall and storm events while reducing the impacts of contaminated water on freshwater ecosystems.

The document also explains that much of the of population of Lower Hutt city lives on a large flood plain, especially susceptible to flooding and landslides. Although primarily the responsibility of Greater Wellington Regional Council, WFGC supports a "room for the river" approach to flood protection works. We urge councils to stop designing stop banks and river engineering structures that will eventually fail, potentially catastrophically, and start the process of allowing the river back into its natural flow path which creates space for floods to occur without loss to people and property.

To avoid increasing debt any further on this projects, Lower Hutt City Council is considering ways to lower costs by reducing some parts of the project and extending due dates to spread costs more evenly across a longer period.

WFGC have concerns that delaying completion increases possibility of budget blowouts as cost increases have been seen steadily rising over time. There is also a need to ensure delays do not push construction into time periods which will exacerbate risk to river ecology (such as through fish spawning migrations and times).

It is vital that monitoring and science must remain a priority, and funding for this should not be lowered, to avoid irreparable harm to the freshwater habitat which is a focal point of the Lower Hutt landscape.

### **Parks and reserves**

Notwithstanding whatever “new activities” are requested, recreational and cultural activities in parks and reserves should be maintained. Improvements and expansions should be of lesser importance than basic infrastructure needs of the district.

### **We look forward to working with you in the future.**

We note that councils have a mammoth task in front of them which will involve changes of direction for decision making and planning, aging infrastructure and increasing needs, and the requirement for rates to remain affordable for ratepayers. We want to work with you to create the best plans possible.

## Submission – Hutt City Council – Long Term Plan

### Wellington Free Ambulance Submission for Funding FY2025 – FY2027

- History:

#### **Funding Agreement between Wellington Free Ambulance and Hutt City Council:**

Signed each Financial Year, under the Long-Term Plan 2018-2028, until 30<sup>th</sup> June 2024.

In a letter dated 17<sup>th</sup> July 2018, Hutt City Council (HCC) confirmed its commitment to Wellington Free Ambulance (WFA), with an increase in funding to \$1 per head of population. WFA has always been very thankful for this generous commitment and for the good working relationship we continue to have with the Council.

Since Financial Year 2018-19, we have received \$109,000 per annum, from the Regional Grants Fund and through the Council's Annual Plan. This has been the case for the past six financial years, taking us to 30<sup>th</sup> June 2024.

The allocated funding was to be used by WFA for the purpose of costs associated with the operation of Lower Hutt and Wainuiomata Ambulance Stations.

As our region's population increases, along with their age, demand on our service increases, and the need for extra funding also increases. Once again, we are asking all Councils in our region to update their funding to \$1 per head of population. This approach will help ensure the long-term sustainability and accessibility of the essential emergency services provided by WFA in the Lower Hutt community.

Given the nature of the emergency service we provide, along with the growing funding demands, I would like to request an agreement between WFA and HCC to provide our service to the communities of the HCC area, as part of the Councils Long-Term Plan.

- New Agreement:

#### **Submission for Proposed Funding Agreement between Wellington Free Ambulance (WFA) and Hutt City Council (HCC): 1<sup>st</sup> July 2024 – 30<sup>th</sup> June 2027**

As your 'Consultation Document' states, Lower Hutt is a growing city with dynamic and diverse communities. Population growth on the scale of approx. 10% over the next 10 years will put huge pressure on the supply of houses and infrastructure.

This will also put huge pressure on the level and capacity of services within the area. This includes the 'free' service that WFA provides to all those communities.

This why agreeing a funding rate of \$1 per head of population is very important. And, very important to amend and update each year.

#### **Proposal:**

1. Instead of a fixed annual grant amount, WFA proposes a variable funding figure for each of the next 3 financial years. This would be based on the actual population increase in the Hutt City Council (HCC) area over the corresponding year.
2. WFA also provides the Clinical Communications 111 Call Centre, Patient Transfer Service, Event Medical Teams, Rescue Squad and the Paramedics on the Regional Rescue Helicopter.
3. HCC total population was 114,000 in 2023, up 1.3% from a year earlier. Population growth averaged 1.2%pa over the past 10 years to 2023, with the national average at 1.3%pa over the past 5 years.

4. As a result, our funding proposal for the next 3 years is as follows:

Financial Year	Population increase	Population	Funding/Proposed Funding
FY23		114,000	\$109,000
FY24	+1,368	115,368	\$109,000
FY25	+1,384	116,752	\$116,752
FY26	+1,401	118,153	\$118,153
FY27	+1,418	119,571	\$119,571

- Need for this Service:

Access to emergency ambulance services is a fundamental need for all people in New Zealand. As our founder believed in 1927, everyone has the right to the best possible medical care without discrimination on any grounds, including financial capability.

At Wellington Free Ambulance (WFA), we believe that emergencies should not cost lives or money. We do not want people to hesitate calling us in an emergency due to concerns about the cost of treatment. This aligns with the vision of Sir Charles Norwood, the former Mayor of Wellington, who championed the establishment of the only free ambulance service in New Zealand.

There is no other provider of emergency ambulance services in the Greater Wellington region, and WFA relies on the support of the Hutt City Council (HCC) to ensure we can be there for the 114,000 residents in the HCC area. In the last 12 months, we attended 11,741 incidents in the Lower Hutt area, which equates to 32 emergencies per day.

We know our work is vital, and we understand the serious consequences that would occur if we were unable to provide this essential service. Last year, WFA received 82% of its funding from government contracts, meaning we must find an additional \$7.5 million annually. Without this additional funding, we would be unable to attend 9,792 callouts per year, missing an average of 27 patients per day and failing to answer over 44,000 emergency calls, some of which could have life-threatening consequences. Without that money, we wouldn't be able to reach 18% of all the people who need us in a year.

On average, each ambulance dispatch to someone in need costs around \$650, amounting to approximately \$7,631,650 to run the service in the HCC area. Furthermore, WFA provides more than just an emergency ambulance service, as our role extends beyond immediate medical response.

- Need for Funding:

As outlined in the previous section, the funding requested from Hutt City Council (HCC) is critical to bridge the gap between the government funding received by Wellington Free Ambulance (WFA) and the actual costs required to run the service.

The running costs for the Wellington Free Ambulance Lower Hutt Station amounted to approximately \$132,000 over the past 12 months. While Wainuiomata amounted to approximately \$1,000. The \$109,000 in funding from HCC did account for a significant amount of these costs but when you factor in the estimated \$7,631,650 required to operate the service in the Lower Hutt area, the HCC's contribution represents a much smaller percentage of the total costs.

We believe it is essential for local councils to contribute to keeping the cost of this vital emergency service free for the community:

- The population of the HCC area accounts for approx. 21% of the total population in our region
- The Council's funding represents around 29% of the total Council funding we receive
- EAS jobs in the Council's area make up approx. 22% of the total EAS jobs in our region

This funding from HCC will be used towards the running costs of our service in your area, which could include expenses such as fuel for our ambulances, vehicle maintenance, the operation of our stations, and the purchase of consumable medical equipment.

Furthermore, we have planned renovation works on the Lower Hutt and Wainuiomata Ambulance Stations within the next 3 years, which will require additional funding support from the local community.

- Impact:

The service from Wellington Free Ambulance (WFA) promotes a deep sense of community for the residents of the Hutt City Council (HCC) area. The knowledge that WFA is there, available free of charge to everyone in their hour of medical and emergency need, provides a profound sense of reassurance and security.

The data from the Hutt City Dashboard demonstrates that WFA is literally there for all your residents when they need it most. Our Emergency Ambulance Service responds to a wide range of incidents, including trauma, pain, respiratory issues, cardiac emergencies, and abdominal pain - the most frequent call-out types. Patients of all ages, from infants to those 86 years and older, have been cared for, with individuals aged 55 and above accounting for over half of all Lower Hutt area patients.

Of the 11,741 callouts in the area, 72% of patients were transported to an emergency department, highlighting the critical nature of the care provided. This service does not discriminate on any grounds, including financial capability, ensuring that everyone in the Lower Hutt community has access to high-quality emergency medical assistance when they need it most.

***It's important to note that the figures presented in this submission are specifically for the Emergency Ambulance Service (EAS). We have not included data for our Patient Transfer Service, which is also a significant component of our operations in the Upper Hutt City Council (UHCC) area and the broader WFA region.***

The impact of WFA's presence in the Upper Hutt community is profound. By providing free, accessible, and equitable emergency medical care, we are not only saving lives but also fostering a strong sense of community and well-being for all residents.

- Purpose:

The purpose of Wellington Free Ambulance (WFA) is to provide vital emergency paramedicine ambulance services to anyone in need within the Greater Wellington, Kapiti and Wairarapa region. Our goal is to deliver a high-quality accessible emergency ambulance service to the community, free of charge.

WFA is the only emergency ambulance service for the Greater Wellington and Wairarapa areas as well as the only 'free' ambulance service within New Zealand. Our frontline teams operate 24 hours a day, 7 days a week, 365 days a year, responding to the growing needs of our community.

In the last year, WFA had a record year, responding to 54,400 people in need and treating an average of 149 patients each day. Our ambulance service travelled over 2M km to provide this critical care.

Additionally, our Clinical Communications Centre answered over 245,000 emergency 111 calls and our Patient Transfer Service completed over 46,000 transports to vital medical appointments. Our range of services also include a specialist Rescue Squad, which reaches patients in remote or precarious locations, and flight paramedics in the regional rescue helicopter.

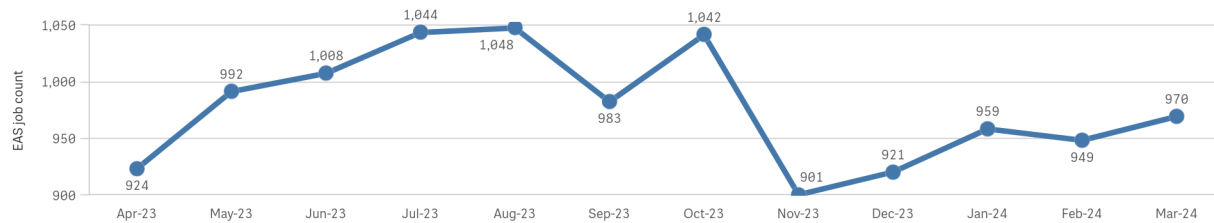
As demand for our service continues to increase, we remain committed to our team of 420 dedicated professionals who serve the emergency and community health care needs of half a million people, free of charge. Looking to the future, we are determined to maintain and enhance our world-class care for the patients we will treat in the years to come.

**This agreement will ensure the long-term sustainability and accessibility of the essential emergency services provided by WFA in the Hutt City Council community, aligning with the council's vision and priorities for a safe, healthy, and vibrant community.**

## WELLINGTON FREE AMBULANCE - Lower Hutt DASHBOARD

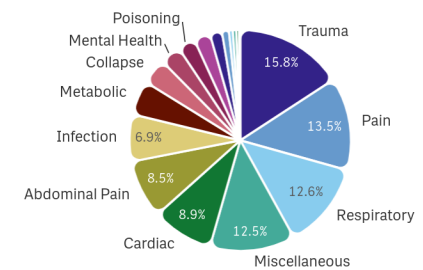
### HOW MANY JOBS DO WE ATTEND?

EAS attended jobs for WFA overall



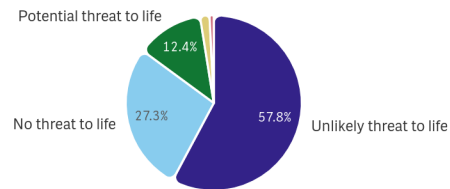
### WHAT TYPE OF JOBS DO WE ATTEND?

EAS attended job type for WFA overall



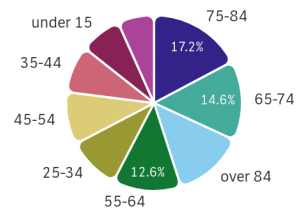
### HOW LIFE THREATENING ARE THE JOBS?

EAS attended jobs by Scene Status for WFA overall



### WHAT AGE ARE THE PATIENTS?

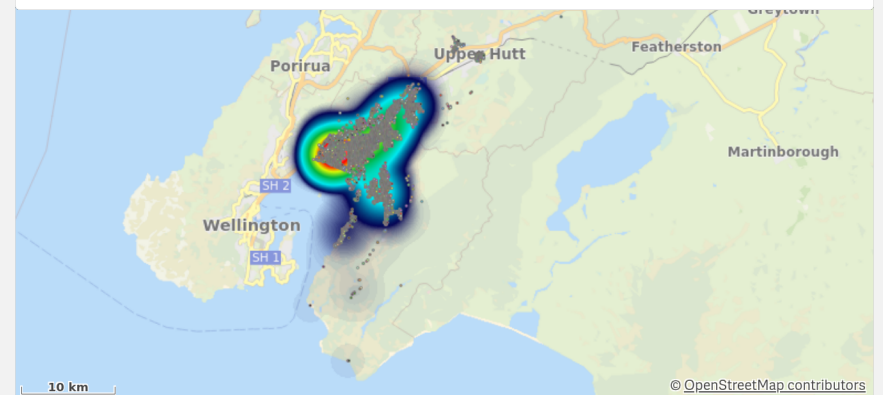
EAS attended jobs by Age Group for WFA overall



### WHERE ARE WE TRANSPORTING PATIENTS TO?



### WHERE ARE THE JOBS?



\* Currently showing a limited data set.

density  
Density layer

EAS job volumes per 5km ra...

0 519.16





Wellington Phoenix Academy  
Ricoh Centre – Fraser Park  
237 Taita Drive  
Avalon, Lower Hutt  
Wellington

3<sup>rd</sup> May 2024

RE: Fraser Park Gym Demolishment

We have been made aware of the plans by the Hutt City Council to demolish the buildings at Fraser Park which include the cricket club rooms and the old Lower Hutt City AFC changing rooms which include a fully functional gym and indoor artificial turf.

As the Wellington Phoenix Academy, we find it incredibly hard to get use of facilities in the Wellington region ahead of local clubs, schools, and other organisations. We are so lucky to have built a good relationship with Lower Hutt City AFC over the years and to now have access to both facilities daily and to use as a base for our academy.

Each week 150 players will pass through the gym in a supervised gym session 3 times each. This means the gym will have 450 contacts a week by our academy and up to 18,000 contacts a year based on our academy running through all terms of the year.

The indoor artificial turf is imperative to us as we are unable to book other outdoor spaces across the city ahead of clubs, schools, and other sporting codes. This allows us to have up to 8 teams in the academy and support the development of over 150 players aged from 13 to 20 every week in the academy.

With the demolition of these facilities pending, we would have to look closely at the placement of our academy and whether Fraser Park is the right place for us now that the facilities would no longer be there to support holistic player development all year round.

As an academy we oppose the demolishing of these facilities and it is important to note that as well as being important to us as a performance environment, the effect on the local community would be hugely negative as we see everything from boxing groups to ethnic groups using these facilities weekly provide activities for the local youth.

Please feel free to contact me if you have any questions: [REDACTED]

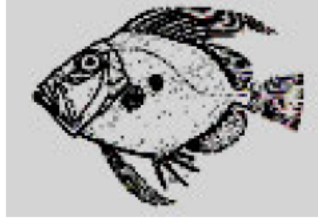
Regards,

Lee Padmore  
Wellington Phoenix Academy Director





# WELLINGTON RECREATIONAL MARINE FISHERS ASSOCIATION



**WE RECOGNISE MANAGED FISHERIES**

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March 5 2024

Hutt City Council

Private Bag 31912

Lower Hutt 5040

E mail: [Contact@huttcity.govt.nz](mailto:Contact@huttcity.govt.nz)

Submission to Hutt City Annual Plan

This letter is addressing issues around the Petone Wharf

Cutting off piles at the sea bed along Petone Wharf will cause the piles to slowly come out. This is already happening at the site of the Point Howard Wharf as the cut off piles are coming out and yachts are hitting them. The problem is caused by the Hutt City Council as you have failed to include a plan to either hold the cut off piles in place or introduce a contingency plan to stop the waters in the aquifer escaping when the piles come out, which they are already doing.

Cutting off the Petone Wharf piles will place an immediate threat to the Wellington Region's future water supply for future generations from the aquifer. It has been proven by Wellington Water that seventy percent of our water supply comes from the aquifer.

Hutt City Council you are sitting on a time bomb as the Point Howard Wharf piles are coming out. Research has revealed there is no contingency plan in place to immediately block off the escaping Hutt Ground Water supply from escaping when the piles pop out, which they are. The Proposed ten year plan has failed to introduce a contingency plan to stop the region's water supply escaping.

What is far more serious is that you have been fed misinformation, clearly warned of in the Tonkin +Taylor report that states media reports describe the piles went in further than specified on the plan. There lies the warning to all and a little observation will find cockles on the western side of the wharf and pipes on the eastern side. Pipes live in sand and cockles live in fresh water as there is already submarine fresh water spring water rising there.

It appears the Hutt City Council is totally unaware that piles at Point Howard and Petone have penetrated the aquifer. Yet in your library you hold many studies of the aquifer.

For example there is a whole chapter on the aquifer in the book "Rugged Landscapes" by Graeme Stevens. In that chapter he describes the piles went into the aquifer at the Point Howard Wharf. He also describes early settlers tried to build a wharf along Port Road but they penetrated the aquifer and they had to hurriedly cap the aquifer.

When the Hutt River floods at least up to the Melling car park the pressure in the aquifer has been estimated to rise to at least 80psi. Four to eight days after the Hutt River has been in flood on a calm day you can see the location of the Submarine fresh water springs in Wellington Harbour.

An engineer has already established that for the fresh water to rip up the sea surface from 15 meters after a Hutt River flood then the pressure under the piles must be at least 80psi. Given that the piles are all about 12 inches square then  $12 \times 12 \times 80 = 11,520$  psi eg. 11.5 tonne under each pile, then they have to come out as water pressure at 15 meters is  $12 \times 12 \times 14.7$  psi = 2,116psi eg. 2 tonne.

Yours sincerely

Jim Mikoz

President

Wellington Recreational Marine Fishers Association

Although not submitting on their behalf I am also

Honorary Vice President New Zealand Angling Association

Member of the MPI FMA 2 & 8 Recreational Advisory Forum

I also represent the region's recreational marine fishers on WCC waste water and Storm water forums.

I also represent the region's recreational marine fishers on HCC waste water forums.

**From:** [Derek Wilshere](#)  
**To:** [haveyoursay](#)  
**Subject:** [EXTERNAL] Hutt City Council Community Facilities Governance  
**Date:** Thursday, 2 May 2024 5:38:24 pm

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Hi

I pushed the submit button my submission.

I would like to present on my response and the subject matter on this email.

#### Managing community assets

1. Reading the HCC 10 yr plan document and being involved in a recent issue regarding Eastbourne Pool opening hours I have some thoughts. Firstly I suggest that there is a category of Community facilities that should not be subject to the risks of private operation and should be outside the ambit of these processes. These include libraries, pools and playgrounds.
2. I suggest that these things should have great deal more Community involvement. The advisors on these matters should be more closely part of a collegial consultancy programme agreed and managed at least annually by the elected Community Boards - hopefully city wide . Where necessary the implementation of the agreed programme should be the responsibility of Council itself. Obviously it would be a council decision for the management and funding of the agreed programme.

#### Adult Outdoor Fitness Facilities

1. I have noted this matter in my main submission on Recreation.  
I suggest that one of these facilities should be installed in several of our playgrounds over the next 10 years.

They are prevalent and very popular in many Australian cities.

See attached photos.

I think they fit well with our children's playgrounds and would be used by older youths and Parents.

Suggested locations in Lower Hutt and Eastbourne would be Avalon Park, Whiorau Reserve and Bishops Park adjacent to the playground and pool and on the Petone Foreshore.

Best  
Derek Wilshere

