Stud Sizing & Dwangs

Stud sizing as per NZS 3604:2011
SG8 LVL framing
Load Bearing walls (Max High Wind Zones) up to 6m load dimension

Lower of Two Storey
90x45 Studs up to 2.4m @ 400ctrs

Upper of Two Storey LVL8
90x45 Studs up to 2.4m @ 600ctrs

Interior Framing
90x45 Studs up to 2.4m @ 600ctrs

Intertenancy Framing
90x45 Studs up to 2.4m @ 600ctrs as per Hebel System Specifications "Hebel 1925". Overall wall thickness 270mm (Excluding Gib).

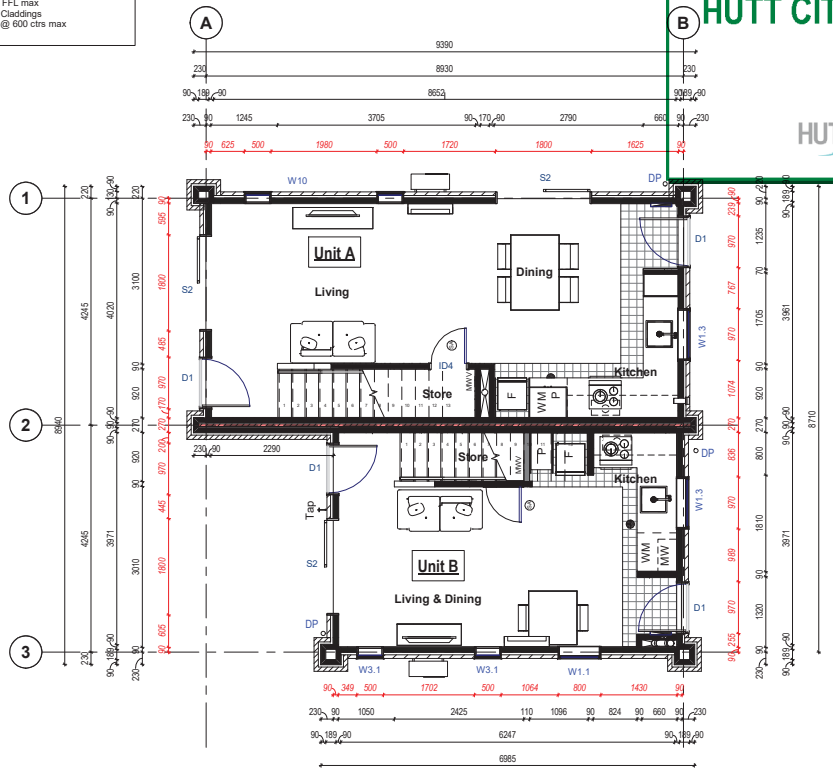
One row of dwangs @ 1350 from FFL max
Dwangs @ 800ctrs Max for BGC Claddings
Cemintel require rows of dwangs @ 600 ctrs max

RESOURCE CONSENT

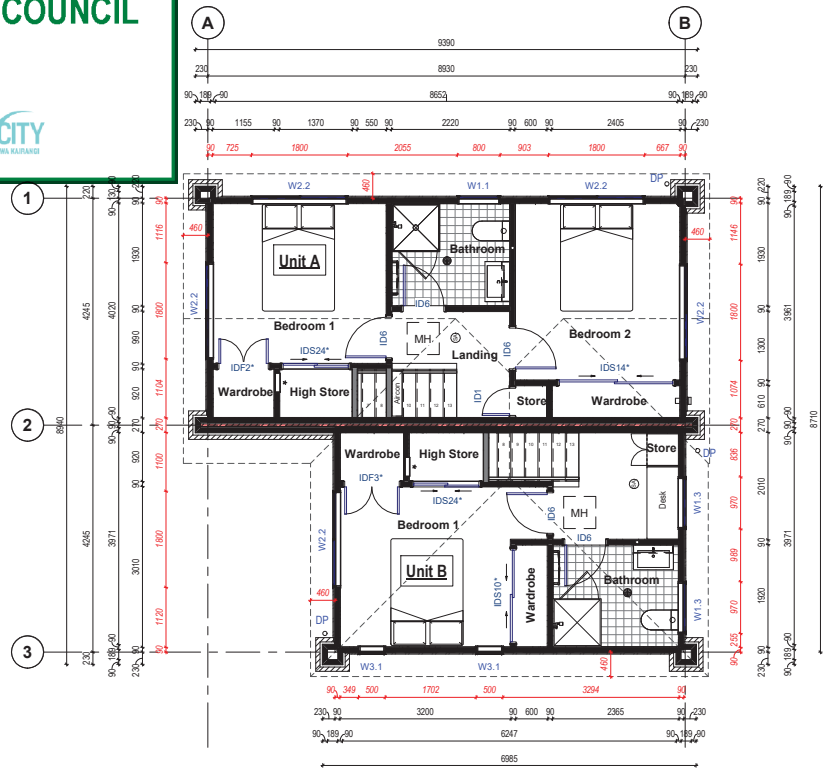
GRANTED
29/06/2021

HUTT CITY COUNCIL

HUTT CITY
TE AWA KAIRANGI



1 **Block 1 - Ground Floor Plan**
1 : 50



2 **Block 1 - First Floor Plan**
1 : 50

Floor Plan Notes

1. The contractor shall check and verify all dimensions, levels, council (public) drain positions and inverts prior to commencing any work. Notify Designer should dimensions or positions vary to that shown immediately
2. Kitchen joinery manufacturer shall take "On-site" measurements prior to fabrication.
3. For kitchen layout and joinery, refer to kitchen manufacturer documents
4. All glass to be as per NZS 4223 (part 3 in particular)
5. Window manufacturers shall check "On-site" all window openings sizes prior to fabrication.
6. Selected carpet to bedrooms and halls.
7. Bathroom to have selected tile on Mapei AquaDefense waterproofing system.
8. Electrical contractor to confirm positions of meter and distribution boards
9. Stairs to comply with NZBC requirements section D1/AS1:
   Secondary private ; (acess to bedrooms and bathrooms)
   a. Tread 280mm min
   b. Riser 193.7mm max
   c. Going 255mm + 25mm nosing
   d. Floor covering - carpet to comply with D1/AS1 table 2
10. Balusters to comply with NZBC requirements section B1/AS2:
    a. 1m high for external decks & balconies.
    b. 1m min above finished floor level for internal balustrade
    c. D1/AS1 - stairs, ramps and handrails
    d. F4/AS1 - safety from falling.
11. Mechanical ventilation: To comply with G4/AS1 1.3.3 Mechanical extract fans (including associated ducting) must have a flow rate not less than the following:
    25 L/S for showers and baths and
    50L/S for cook tops.
12. Install a 4 n 1 valve in every unit which has a shut off, strainer and limiter with non return valve to prevent contamination caused by backflow.
13. Interior wet area paint finishes schedule in supporting documents.
14. All cook tops have a glass splash back 750ht x 600w
15. All rooms with metal ceiling battens must be linked together with a metal strap and earthed back to the fuse baord.
16. Walls between bathrooms and bedrooms to be insulated with batts to reduce noise. Ground floor toilets to be insulated also.

Joinery Notes

1. Frame & Truss to confirm joinery head height if window is underside of soffit. Contact Designer if necessary.
2. All heights and sizes to be confirm prior to manufacture
3. Ground Floor - 2.1m a.f.l
4. First Floor - Refer to plan
5. Refer sections and details.
6. Internal door height, Std 1980 Panels. except noted ones "ht"
7. Internal door to be pre drilled for hardware.
8. Lower stair raking wall to be installed once GIB on site
9. Living area sliding doors to be safety glass as per NZS4223.3:2016
10. Part height doors under stairs not to have pre drilled hardware
11. Part height doors under stairs to be fitted with push to open and magnetic latch only
12. All top floor cupboards noted with "ht" are to match the external window height. Refer to plans for which doors are marked.

Lighting Notes

1. Provide lighting on stairways and entry as per NZBC G8/AS1.
2. Two way light switch at top at bottom of stairs - as per G8/AS1.
3. All LED downlight to be Ca rated

Fire Protection Notes

1. Provide (30)/30/30 fire resistance rating between adjacent units. This has been achieved with the proposed construction method, Hebel PowerPanel 50 "Hebel 1925" wall system between the units. Refer to Hebel® specification. (90mm insulation R2.6)
2. Smoke detectors shall be fitted in accordance with AS1670.6 in every sleeping space or within 3 metres of every sleeping space door
3. All Wellington and 3 storey buildings to have interconnected smoke alarms. Code: 2107 CAV10WF
4. James Hardie Systems JHETGR30-N
5. Refer to GIB-Fire-Rated-Systems manual for fire wall penetrations

H1 Compliance

Schedule Method Units 1 to 6
Total Area of glazing walls (<30%) = 17.35% of total exterior walls
ESW Area of glazing walls (<30%) = 14.87% of ESW walls

Schedule Method used:
Minimum R Values from NZS4218 Table 1 Zone 3
   a. Roof R3.3 = Use R3.6
   b. Wall R2.0 = Use R2.4
   c. Floor R1.3 = EXPOL Under floor R1.4
      required where timber flooring is used

Glazing R0.26(vertical) = Double glazing required
Glazing Skylights = N/A

The values above are to show compliance and R value are the minimum allowed. The details in this project will show the true R values used are much higher than required

Wall Legend

Exterior walls
- Cemintel 90mm timber frame
- 70mm Brick Veneer 90mm timber frame

Fire rated walls
- Hebel PowerPanel 50 Intertenancy wall system "Hebel 1925"

Interior walls
- GIB on timber frame (Refer to plan dimensions for stud size)
- Wall balustrade

Floor Plan Key

Floor drain	
Floor waste gully	fwg
Smoke alarm	SA
Down pipe	dp
Water valve	mwv
Distribution & Meterbox	DB/MB
Hot water cylinder ducts	HWS HCW
Hot water cylinder (HWC)	hwc
Gully trap	
Extractor Vent path	
Outdoor tap	Tap

BLOCK 1 AREAS

Block Number	Unit Number	Area Level	Nett Area	Plate Area	Over Cladding
Block 1	Unit A	Ground Floor	38.3 m²	38.4 m²	38.4 m²
Block 1	Unit A	First Floor	36.2 m²	37.6 m²	37.6 m²
			74.5 m²	76.0 m²	76.0 m²
Block 1	Unit B	Ground Floor	27.1 m²	27.1 m²	30.0 m²
Block 1	Unit B	First Floor	26.5 m²	27.2 m²	28.5 m²
			53.5 m²	54.3 m²	58.5 m²
Grand total			128.0 m²	130.3 m²	134.5 m²

- All work shall comply with the New Zealand Building Code and all relevant and associated standards, codes and territorial authority by-laws including terms and conditions of the building consent and any resource consents issued for project
- Architectural drawings are to be read in conjunction with the structural engineers drawings and vice versa.
- All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendations and specifications.
- All documentation must be read in full and completely understood before any works begin and any discrepancies or ambiguity shall be clarified with design LBP before any work commences
- The builder is responsible for the setting out of the works, the checking of all dimensions and levels on site, and the reporting of any discrepancies prior to commencement of work. Do not scale from these drawings.

Description	Rev	Date	Issued by

WILLIAMS CORPORATION

Revision	
Scale	A1 page size (Half scale @ A3)
Issue Date	-
Time Stamp	19/03/2021 11:25:41 am
Page Title	Floor Plan - Block 1
Project	3-4 Johnston Grove Residential
Address	3-4 Johnston Grove, Taita, Lower Hutt Wellington
Sheet	RC2.0

Stud Sizing & Dwangs

Stud sizing as per NZS 3604:2011
SG8 LVL framing
Load Bearing walls (Max High Wind Zones) up to 6m load dimension

Lower of Two Storey
90x45 Studs up to 2.4m @ 400ctrs

Upper of Two Storey LVL8
90x45 Studs up to 2.4m @ 600ctrs

Interior Framing
90x45 Studs up to 2.4m @ 600ctrs

Intertenancy Framing
90x45 Studs up to 2.4m @ 600ctrs as per Hebel System Specifications "Hebel 1925". Overall wall thickness 270mm (Excluding Gib).

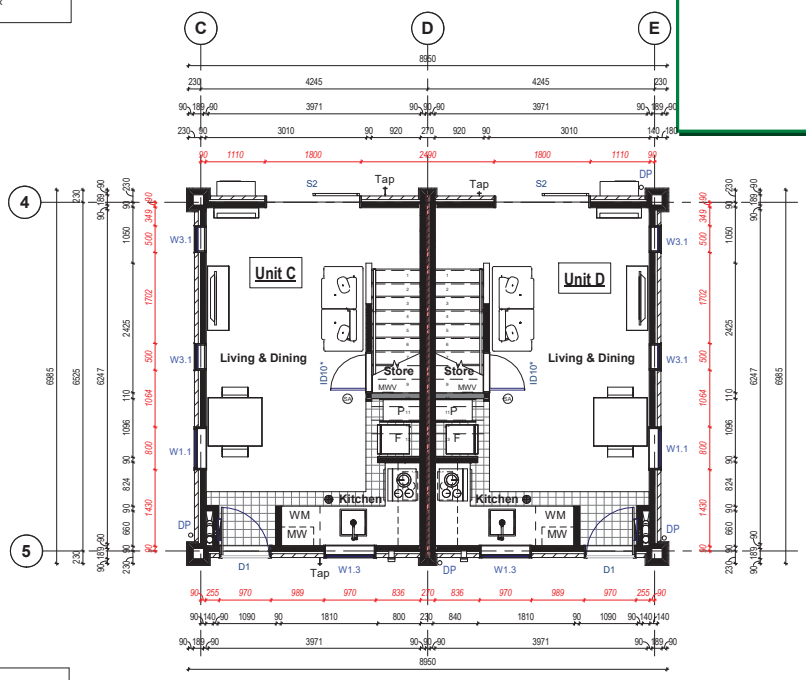
One row of dwangs @ 1350 from FFL max
Dwangs @ 800ctrs Max for BGC Claddings
Cemintel require rows of dwangs @ 600 ctrs max

RESOURCE CONSENT

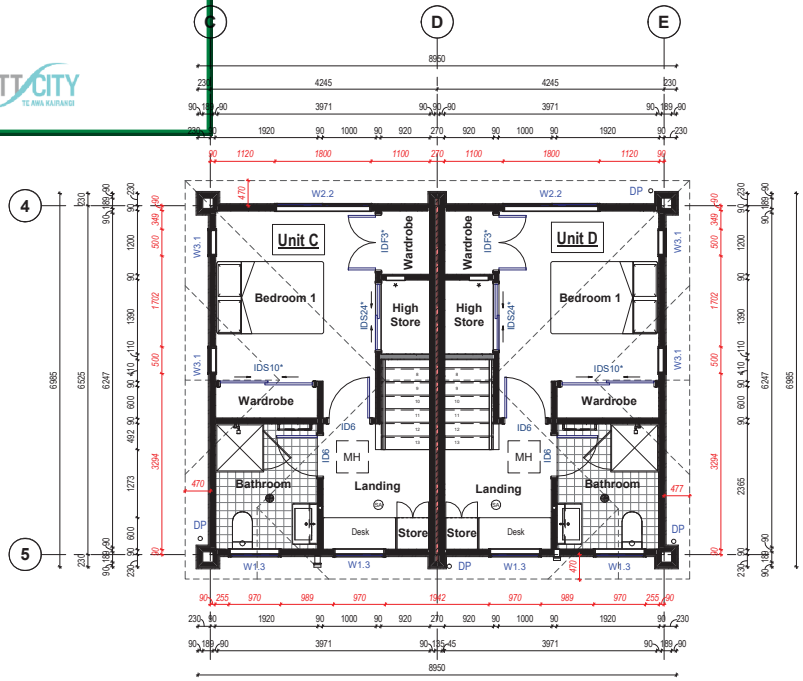
GRANTED
29/06/2021

HUTT CITY COUNCIL

HUTT CITY
TE AWA KAIRANGI



1 **Block 2 - Ground Floor Plan**
1 : 50



2 **Block 2 - First Floor Plan**
1 : 50

Wall Legend

Exterior walls
Cemintel
90mm timber frame

70mm Brick Veneer
90mm timber frame

Fire rated walls
Hebel PowerPanel 50 Intertenancy wall system "Hebel 1925"

Interior walls
GIB on timber frame
(Refer to plan dimensions for stud size)

Wall balustrade

Floor Plan Key

- Floor drain
- Floor waste gully (fwg)
- Smoke alarm (sa)
- Down pipe (dp)
- Water valve (mwv)
- Distribution & Meterbox (DB/MB)
- Hot water cylinder ducts (HWC / CW)
- Hot water cylinder (HWC)
- Gully trap
- Extractor Vent path
- Outdoor tap (Tap)

Floor Plan Notes

1. The contractor shall check and verify all dimensions, levels, council (public) drain positions and inverts prior to commencing any work. Notify Designer should dimensions or positions vary to that shown immediately
2. Kitchen joinery manufacturer shall take "On-site" measurements prior to fabrication.
3. For kitchen layout and joinery, refer to kitchen manufacturer documents
4. All glass to be as per NZS 4223 (part 3 in particular)
5. Window manufacturers shall check "On-site" all window openings sizes prior to fabrication.
6. Selected carpet to bedrooms and halls.
7. Bathroom to have selected tile on Mapei AquaDefense waterproofing system.
8. Electrical contractor to confirm positions of meter and distribution boards
9. Stairs to comply with NZBC requirements section D1/AS1:
   Secondary private : (acess to bedrooms and bathrooms)
   a. Tread 280mm min
   b. Riser 193.7mm max
   c. Going 255mm + 25mm nosing
   d. Floor covering - carpet to comply with D1/AS1 table 2
10. Balusters to comply with NZBC requirements section B1/AS2:
    a. 1m high for external decks & balconies.
    b. 1m min above finished floor level for internal balustrade
    c. D1/AS1 - stairs, ramps and handrails
    d. F4/AS1 - safety from falling.
11. Mechanical ventilation: To comply with G4/AS1 1.3.3 Mechanical extract fans (including associated ducting) must have a flow rate not less than the following:
    25 L/S for showers and baths and
    50L/S for cook tops.
12. Install a 4 n 1 valve in every unit which has a shut off, strainer and limiter with non return valve to prevent contamination caused by backflow.
13. Interior wet area paint finishes schedule in supporting documents.
14. All cook tops have a glass splash back 750ht x 600w
15. All rooms with metal ceiling battens must be linked together with a metal strap and earthed back to the fuse baord.
16. Walls between bathrooms and bedrooms to be insulated with batts to reduce noise. Ground floor toilets to be insulated also.

Joinery Notes

1. Frame & Truss to confirm joinery head height if window is underside of soffit. Contact Designer if necessary.
2. All heights and sizes to be confirm prior to manufacture
3. Ground Floor - 2.1m a.f.l
4. First Floor - Refer to plan
5. Refer sections and details.
6. Internal door height, Std 1980 Panels. except noted ones "ht"
7. Internal door to be pre drilled for hardware.
8. Lower stair raking wall to be installed once GIB on site
9. Living area sliding doors to be safety glass as per NZS4223.3:2016
10. Part height doors under stairs not to have pre drilled hardware
11. Part height doors under stairs to be fitted with push to open and magnetic latch only
12. All top floor cupboards noted with "ht" are to match the external window height. Refer to plans for which doors are marked.

Lighting Notes

1. Provide lighting on stairways and entry as per NZBC G8/AS1.
2. Two way light switch at top at bottom of stairs - as per G8/AS1.
3. All LED downlight to be Ca rated

Fire Protection Notes

1. Provide (30)/30/30 fire resistance rating between adjacent units. This has been achieved with the proposed construction method, Hebel PowerPanel 50 "Hebel 1925" wall system between the units. Refer to Hebel® specification. (90mm insulation R2.6)
2. Smoke detectors shall be fitted in accordance with AS1670.6 in every sleeping space or within 3 metres of every sleeping space door
3. All Wellington and 3 storey buildings to have interconnected smoke alarms. Code: 2107 CAV10WF
4. James Hardie Systems JHETGR30-N
5. Refer to GIB-Fire-Rated-Systems manual for fire wall penetrations

H1 Compliance

Schedule Method Units 1 to 6
Total Area of glazing walls (<30%) = 17.35% of total exterior walls
ESW Area of glazing walls (<30%) = 14.87% of ESW walls

Schedule Method used:
Minimum R Values from NZS4218 Table 1 Zone 3
a. Roof R3.3 = Use R3.6
b. Wall R2.0 = Use R2.4
c. Floor R1.3 = EXPOL Under floor R1.4
   required where timber flooring is used

Glazing R0.26(vertical) = Double glazing required
Glazing Skylights = N/A

The values above are to show compliance and R value are the minimum allowed. The details in this project will show the true R values used are much higher than required

BLOCK 2 AREAS

Block Number	Unit Number	Area Level	Nett Area	Plate Area	Over Cladding
Block 2	Unit C	Ground Floor	27.8 m²	26.4 m²	29.7 m²
Block 2	Unit C	First Floor	26.4 m²	26.4 m²	28.7 m²
			54.2 m²	52.8 m²	58.3 m²
Block 2	Unit D	Ground Floor	27.9 m²	26.4 m²	29.8 m²
Block 2	Unit D	First Floor	26.4 m²	26.4 m²	28.7 m²
			54.3 m²	52.8 m²	58.5 m²
Grand total			108.5 m²	105.6 m²	116.8 m²

- All work shall comply with the New Zealand Building Code and all relevant and associated standards, codes and territorial authority by-laws including terms and conditions of the building consent and any resource consents issued for project
- Architectural drawings are to be read in conjunction with the structural engineers drawings and vice versa.
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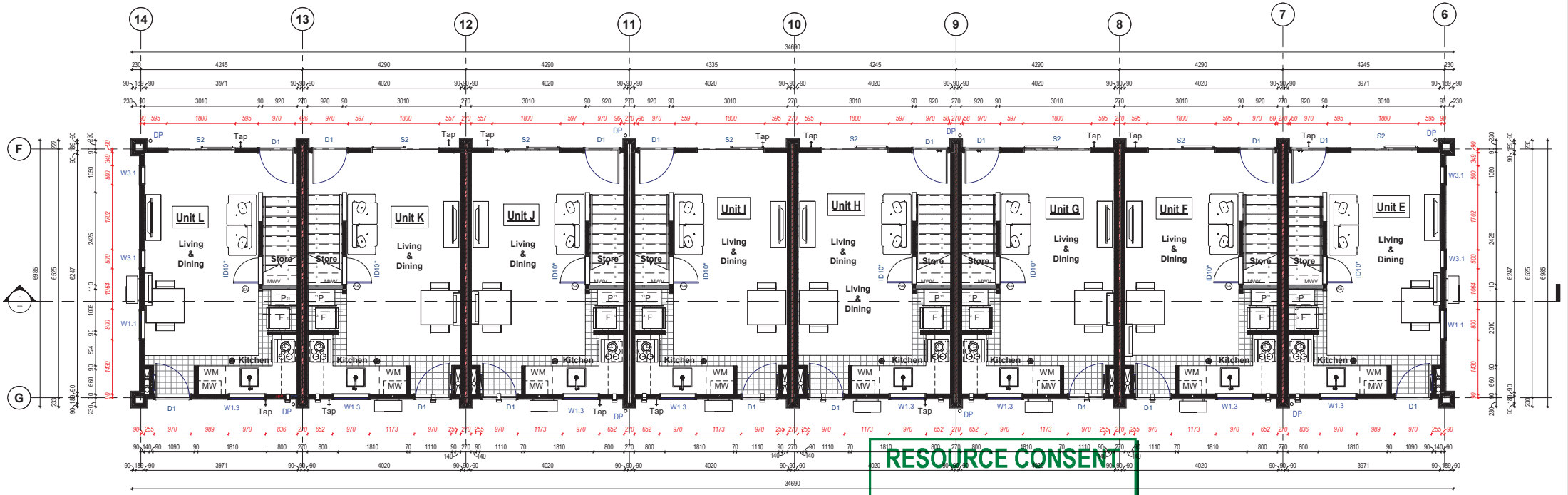
- The builder is responsible for the setting out of the works, the checking of all dimensions and levels on site, and the reporting of any discrepancies prior to commencement of work. Do not scale from these drawings.

Description	Rev	Date	Issued by

WILLIAMS CORPORATION

Revision	
Scale	A1 page size (Half scale @ A3)
Issue Date	03/01/21
Time Stamp	19/03/2021 11:25:46 am
Page Title	Floor Plan - Block 2
Project	3-4 Johnston Grove Residential
Address	3-4 Johnston Grove, Taita, Lower Hutt Wellington
Sheet	RC2.1



1 Block 3 - Ground Floor Plan

1 : 50

RESOURCE CONSENT

GRANTED
29/06/2021

HUTT CITY COUNCIL

Floor Plan Notes

1. The contractor shall check and verify all dimensions, levels, council (public) drain positions and inverts prior to commencing any work. Notify Designer should dimensions or positions vary to that shown immediately
2. Kitchen joinery manufacturer shall take "On-site" measurements prior to fabrication.
3. For kitchen layout and joinery, refer to kitchen manufacturer documents
4. All glass to be as per NZS 4223 (part 3 in particular)
5. Window manufacturers shall check "On-site" all window openings sizes prior to fabrication.
6. Selected carpet to bedrooms and halls.
7. Bathroom to have selected tile on Mapei AquaDefense waterproofing system.
8. Electrical contractor to confirm positions of meter and distribution boards
9. Stairs to comply with NZBC requirements section D1/AS1: Secondary private : (acess to bedrooms and bathrooms)
   a. Tread 280mm min
   b. Riser 193.7mm max
   c. Going 255mm + 25mm nosing
   d. Floor covering - carpet to comply with D1/AS1 table 2
10. Balusters to comply with NZBC requirements section B1/AS2:
    a. 1m high for external decks & balconies.
    b. 1m min above finished floor level for internal balustrade
    c. D1/AS1 - stairs, ramps and handrails
    d. F4/AS1 - safety from falling.
11. Mechanical ventilation: To comply with G4/AS1 1.3.3 Mechanical extract fans (including associated ducting) must have a flow rate not less than the following:
    25 L/S for showers and baths and
    50L/S for cook tops.
12. Install a 4 n 1 valve in every unit which has a shut off, strainer and limiter with non return valve to prevent contamination caused by backflow.
13. Interior wet area paint finishes schedule in supporting documents.
14. All cook tops have a glass splash back 750ht x 600w
15. All rooms with metal ceiling battens must be linked together with a metal strap and earthed back to the fuse baord.
16. Walls between bathrooms and bedrooms to be insulated with batts to reduce noise. Ground floor toilets to be insulated also.

Joinery Notes

1. Frame & Truss to confirm joinery head height if window is underside of soffit. Contact Designer if necessary.
2. All heights and sizes to be confirm prior to manufacture
3. Ground Floor - 2.1m a.f.l
4. First Floor - Refer to plan
5. Refer sections and details.
6. Internal door height, Std 1980 Panels. except noted ones "ht"
7. Internal door to be pre drilled for hardware.
8. Lower stair raking wall to be installed once GIB on site
9. Living area sliding doors to be safety glass as per NZS4223.3:2016
10. Part height doors under stairs not to have pre drilled hardware
11. Part height doors under stairs to be fitted with push to open and magnetic latch only
12. All top floor cupboards noted with "ht" are to match the external window height. Refer to plans for which doors are marked.

Lighting Notes

1. Provide lighting on stairways and entry as per NZBC G8/AS1.
2. Two way light switch at top at bottom of stairs - as per G8/AS1.
3. All LED downlight to be Ca rated

Fire Protection Notes

1. Provide (30)/30/30 fire resistance rating between adjacent units. This has been achieved with the proposed construction method, Hebel PowerPanel 50 "Hebel 1925" wall system between the units. Refer to Hebel® specification. (90mm insulation R2.6)
2. Smoke detectors shall be fitted in accordance with AS1670.6 in every sleeping space or within 3 metres of every sleeping space door
3. All Wellington and 3 storey buildings to have interconnected smoke alarms. Code: 2107.CAV1WF
4. James Hardie Systems JHETGR30-N
5. Refer to GIB-Fire-Rated-Systems manual for fire wall penetrations

BLOCK 3 AREAS

Block Number	Unit Number	Area Level	Nett Area	Plate Area	Over Cladding
Block 3	Unit E	Ground Floor	27.3 m²	27.3 m²	27.7 m²
Block 3	Unit E	First Floor	27.3 m²	27.3 m²	27.7 m²
			54.6 m²	54.6 m²	55.4 m²
Block 3	Unit F	Second Floor	27.5 m²	27.5 m²	29.7 m²
Block 3	Unit F	Ground Floor	27.2 m²	27.2 m²	28.5 m²
Block 3	Unit F	First Floor	27.2 m²	27.2 m²	28.5 m²
			81.8 m²	81.8 m²	86.7 m²
Block 3	Unit G	Second Floor	27.8 m²	27.8 m²	27.9 m²
Block 3	Unit G	Ground Floor	27.8 m²	27.8 m²	27.9 m²
Block 3	Unit G	First Floor	27.8 m²	27.8 m²	27.9 m²
			83.3 m²	83.3 m²	83.8 m²
Block 3	Unit H	Second Floor	27.2 m²	26.7 m²	28.5 m²
Block 3	Unit H	Ground Floor	27.2 m²	27.2 m²	28.5 m²
Block 3	Unit H	First Floor	27.2 m²	27.2 m²	28.5 m²
			81.5 m²	81.0 m²	85.4 m²
Block 3	Unit I	Second Floor	27.2 m²	27.2 m²	28.5 m²
Block 3	Unit I	Ground Floor	27.2 m²	27.2 m²	28.4 m²
Block 3	Unit I	First Floor	27.2 m²	27.2 m²	28.5 m²
			81.5 m²	81.5 m²	85.4 m²
Block 3	Unit J	Second Floor	27.7 m²	27.7 m²	27.9 m²
Block 3	Unit J	Ground Floor	27.7 m²	27.5 m²	27.9 m²
Block 3	Unit J	First Floor	27.7 m²	27.7 m²	27.9 m²
			83.2 m²	83.0 m²	83.6 m²
Block 3	Unit K	Second Floor	28.1 m²	28.1 m²	28.9 m²
Block 3	Unit K	Ground Floor	27.5 m²	27.2 m²	28.2 m²
Block 3	Unit K	First Floor	27.5 m²	27.4 m²	28.2 m²
			83.0 m²	82.7 m²	85.2 m²
Block 3	Unit L	Ground Floor	27.3 m²	27.3 m²	27.7 m²
Block 3	Unit L	First Floor	27.3 m²	27.3 m²	27.7 m²
			54.6 m²	54.6 m²	55.4 m²
Grand total			603.7 m²	602.6 m²	620.9 m²

H1 Compliance

Schedule Method Units 1 to 6
Total Area of glazing walls (<30%) = 17.35% of total exterior walls
ESW Area of glazing walls (<30%) = 14.87% of ESW walls

Schedule Method used:
Minimum R Values from NZS4218 Table 1 Zone 3
a. Roof R3.3 = Use R3.6
b. Wall R2.0 = Use R2.4
c. Floor R1.3 = EXPOL Under floor R1.4
required where timber flooring is used

Glazing R0.26(vertical) = Double glazing required
Glazing Skylights = N/A

The values above are to show compliance and R value are the minimum allowed. The details in this project will show the true R values used are much higher than required

Stud Sizing 3 Storey Building

All framing covered by Engineer
All framing LVL8

Lower of Three Stories
90x45 Studs up to 2.4m @ 600ctrs
(If wall is part of a storey brick panel - Studs to be @ 400ctrs)

1st floor of Three Stories
90x45 Studs up to 2.4m @ 600ctrs
(If wall is part of a storey brick panel - Studs to be @ 400ctrs)

Upper of Three Stories
90x45 Studs up to 2.4m @ 600ctrs

Interior Framing
90x45 Studs up to 2.4m @ 600ctrs

Intertenancy Framing
90x45 Studs up to 2.4m @ 600ctrs as per Hebel System 1925 Specifications. Overall wall thickness 270mm (Excluding Gib).

One row of dwangs @ 1350 from FFL max
Dwangs @ 1350ctrs Max for Brick Veneer
Dwangs @ 600ctrs Max for Metal Cladding
One row of dwangs @ 600 from FFL max (Aluminium Weatherboard) Horiz & Vert install

Wall Legend

Exterior walls

Cemintel 90mm timber frame

70mm Brick Veneer 90mm timber frame

Fire rated walls

Hebel PowerPanel 50 Intertenancy wall system "Hebel 1925"

Interior walls

GIB on timber frame (Refer to plan dimensions for stud size)

Wall balustrade

Floor Plan Key

Floor drain
Floor waste gully (fwg)
Smoke alarm (sa)
Down pipe (dp)
Water valve (mwv)
Distribution & Meterbox (DB/MB)
Hot water cylinder ducts (HWK, CW)
Hot water cylinder (HWC) (hwc)
Gully trap
Extractor Vent path
Outdoor tap (Tap)

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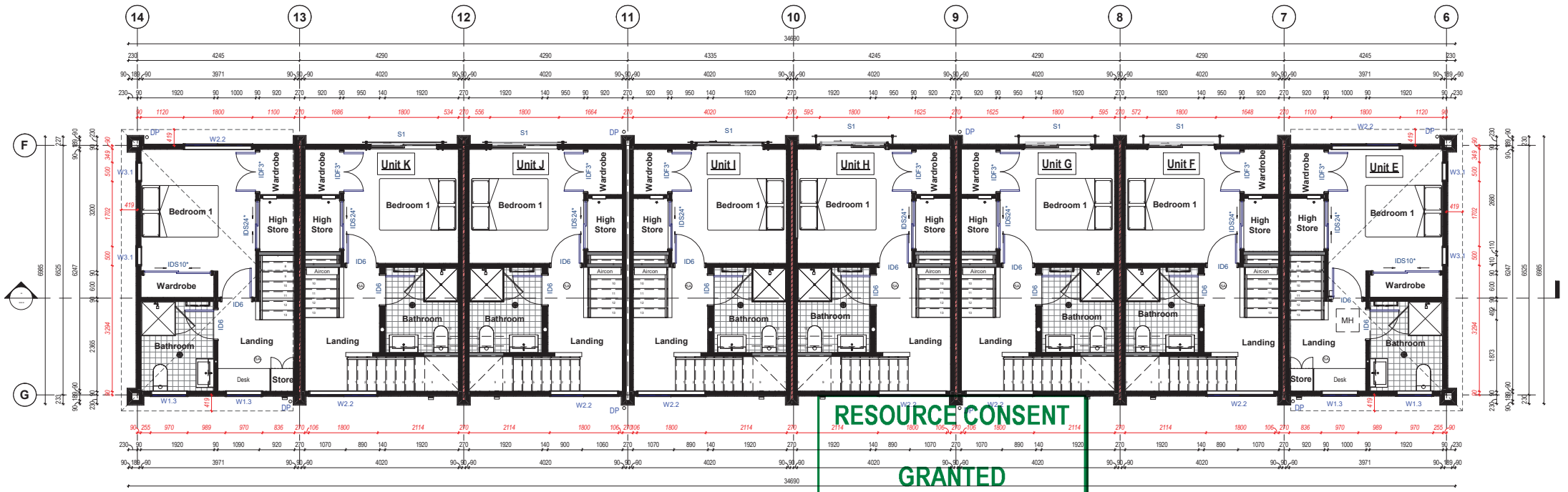
WILLIAMS CORPORATION

Revision	
Scale	A1 page size (Half scale @ A3)
Issue Date	03/01/21
Time Stamp	19/03/2021 11:25:52 am
Page Title	Floor Plan - Block 3
Project	3-4 Johnston Grove Residential
Address	3-4 Johnston Grove, Taita, Lower Hutt Wellington
Sheet	RC2.2



RESOURCE CONSENT GRANTED 29/06/2021

HUTT CITY COUNCIL

HUTT CITY TE AWA KAIRANGI

Floor Plan Notes

1. The contractor shall check and verify all dimensions, levels, council (public) drain positions and inverts prior to commencing any work. Notify Designer should dimensions or positions vary to that shown immediately
2. Kitchen joinery manufacturer shall take "On-site" measurements prior to fabrication.
3. For kitchen layout and joinery, refer to kitchen manufacturer documents
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8. Electrical contractor to confirm positions of meter and distribution boards
9. Stairs to comply with NZBC requirements section D1/AS1: Secondary private : (acess to bedrooms and bathrooms)
   a. Tread 280mm min
   b. Riser 193.7mm max
   c. Going 255mm + 25mm nosing
   d. Floor covering - carpet to comply with D1/AS1 table 2
10. Balusters to comply with NZBC requirements section B1/AS2:
    a. 1m high for external decks & balconies.
    b. 1m min above finished floor level for internal balustrade
    c. D1/AS1 - stairs, ramps and handrails
    d. F4/AS1 - safety from falling.
11. Mechanical ventilation: To comply with G4/AS1 1.3.3 Mechanical extract fans (including associated ducting) must have a flow rate not less than the following:
    25 L/S for showers and baths and
    50L/S for cook tops.
12. Install a 4 n 1 valve in every unit which has a shut off, strainer and limiter with non return valve to prevent contamination caused by backflow.
13. Interior wet area paint finishes schedule in supporting documents.
14. All cook tops have a glass splash back 750ht x 600w
15. All rooms with metal ceiling battens must be linked together with a metal strap and earthed back to the fuse baord.
16. Walls between bathrooms and bedrooms to be insulated with batts to reduce noise. Ground floor toilets to be insulated also.

Joinery Notes

1. Frame & Truss to confirm joinery head height if window is underside of soffit. Contact Designer if necessary.
2. All heights and sizes to be confirm prior to manufacture
3. Ground Floor - 2.1m a.f.l
4. First Floor - Refer to plan
5. Refer sections and details.
6. Internal door height, Std 1980 Panels. except noted ones "ht"
7. Internal door to be pre drilled for hardware.
8. Lower stair raking wall to be installed once GIB on site
9. Living area sliding doors to be safety glass as per NZS4223.3:2016
10. Part height doors under stairs not to have pre drilled hardware
11. Part height doors under stairs to be fitted with push to open and magnetic latch only
12. All top floor cupboards noted with "ht" are to match the external window height. Refer to plans for which doors are marked.

Lighting Notes

1. Provide lighting on stairways and entry as per NZBC G8/AS1.
2. Two way light switch at top at bottom of stairs - as per G8/AS1.
3. All LED downlight to be Ca rated

Fire Protection Notes

1. Provide (30)/30/30 fire resistance rating between adjacent units. This has been achieved with the proposed construction method, Hebel PowerPanel 50 "Hebel 1925" wall system between the units. Refer to Hebel® specification. (90mm insulation R2.6)
2. Smoke detectors shall be fitted in accordance with AS1670.6 in every sleeping space or within 3 metres of every sleeping space door
3. All Wellington and 3 storey buildings to have interconnected smoke alarms. Code: 2107.CAV1WF
4. James Hardie Systems JHETGR30-N
5. Refer to GIB-Fire-Rated-Systems manual for fire wall penetrations

BLOCK 3 AREAS

Block Number	Unit Number	Area Level	Nett Area	Plate Area	Over Cladding
Block 3	Unit E	Ground Floor	27.3 m²	27.3 m²	27.7 m²
Block 3	Unit E	First Floor	27.3 m²	27.3 m²	27.7 m²
			54.6 m²	54.6 m²	55.4 m²
Block 3	Unit F	Second Floor	27.5 m²	27.5 m²	29.7 m²
Block 3	Unit F	Ground Floor	27.2 m²	27.2 m²	28.5 m²
Block 3	Unit F	First Floor	27.2 m²	27.2 m²	28.5 m²
			81.8 m²	81.8 m²	86.7 m²
Block 3	Unit G	Second Floor	27.8 m²	27.8 m²	27.9 m²
Block 3	Unit G	Ground Floor	27.8 m²	27.8 m²	27.9 m²
Block 3	Unit G	First Floor	27.8 m²	27.8 m²	27.9 m²
			83.3 m²	83.3 m²	83.8 m²
Block 3	Unit H	Second Floor	27.2 m²	26.7 m²	28.5 m²
Block 3	Unit H	Ground Floor	27.2 m²	27.2 m²	28.5 m²
Block 3	Unit H	First Floor	27.2 m²	27.2 m²	28.5 m²
			81.5 m²	81.0 m²	85.4 m²
Block 3	Unit I	Second Floor	27.2 m²	27.2 m²	28.5 m²
Block 3	Unit I	Ground Floor	27.2 m²	27.2 m²	28.4 m²
Block 3	Unit I	First Floor	27.2 m²	27.2 m²	28.5 m²
			81.5 m²	81.5 m²	85.4 m²
Block 3	Unit J	Second Floor	27.7 m²	27.7 m²	27.9 m²
Block 3	Unit J	Ground Floor	27.7 m²	27.5 m²	27.9 m²
Block 3	Unit J	First Floor	27.7 m²	27.7 m²	27.9 m²
			83.2 m²	83.0 m²	83.6 m²
Block 3	Unit K	Second Floor	28.1 m²	28.1 m²	28.9 m²
Block 3	Unit K	Ground Floor	27.5 m²	27.2 m²	28.2 m²
Block 3	Unit K	First Floor	27.5 m²	27.4 m²	28.2 m²
			83.0 m²	82.7 m²	85.2 m²
Block 3	Unit L	Ground Floor	27.3 m²	27.3 m²	27.7 m²
Block 3	Unit L	First Floor	27.3 m²	27.3 m²	27.7 m²
			54.6 m²	54.6 m²	55.4 m²
Grand total			603.7 m²	602.6 m²	620.9 m²

H1 Compliance

Schedule Method Units 1 to 6
Total Area of glazing walls (<30%) = 17.35% of total exterior walls
ESW Area of glazing walls (<30%) = 14.87% of ESW walls

Schedule Method used:
Minimum R Values from NZS4218 Table 1 Zone 3
a. Roof R3.3 = Use R3.6
b. Wall R2.0 = Use R2.4
c. Floor R1.3 = EXPOL Under floor R1.4
required where timber flooring is used

Glazing R0.26(vertical) = Double glazing required
Glazing Skylights = N/A

The values above are to show compliance and R value are the minimum allowed. The details in this project will show the true R values used are much higher than required

Stud Sizing 3 Storey Building

All framing covered by Engineer
All framing LVL8

Lower of Three Stories
90x45 Studs up to 2.4m @ 600ctrs
(If wall is part of a storey brick panel - Studs to be @ 400ctrs)

1st floor of Three Stories
90x45 Studs up to 2.4m @ 600ctrs
(If wall is part of a storey brick panel - Studs to be @ 400ctrs)

Upper of Three Stories
90x45 Studs up to 2.4m @ 600ctrs

Interior Framing
90x45 Studs up to 2.4m @ 600ctrs

Intertenancy Framing
90x45 Studs up to 2.4m @ 600ctrs as per Hebel System 1925 Specifications. Overall wall thickness 270mm (Excluding Gib).

One row of dwangs @ 1350 from FFL max
Dwangs @ 1350ctrs Max for Brick Veneer
Dwangs @ 600ctrs Max for Metal Cladding
One row of dwangs @ 600 from FFL max (Aluminium Weatherboard) Horiz & Vert install

Wall Legend

Exterior walls

Cemintel 90mm timber frame

70mm Brick Veneer 90mm timber frame

Fire rated walls

Hebel PowerPanel 50 Intertenancy wall system "Hebel 1925"

Interior walls

GIB on timber frame (Refer to plan dimensions for stud size)

Wall balustrade

Floor Plan Key

- Floor drain
- Floor waste gully (fwg)
- Smoke alarm (sa)
- Down pipe (dp)
- Water valve (mwv)
- Distribution & Meterbox (DB/MB)
- Hot water cylinder ducts (HWE, CW)
- Hot water cylinder (HWC)
- Gully trap
- Extractor Vent path
- Outdoor tap (Tap)

- All work shall comply with the New Zealand Building Code and all relevant and associated standards, codes and territorial authority by-laws including terms and conditions of the building consent and any resource consents issued for project
- Architectural drawings are to be read in conjunction with the structural engineers drawings and vice versa.
- All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendations and specifications.
- All documentation must be read in full and completely understood before any works begin and any discrepancies or ambiguity shall be clarified with design LBP before any work commences
- The builder is responsible for the setting out of the works, the checking of all dimensions and levels on site, and the reporting of any discrepancies prior to commencement of work. Do not scale from these drawings.

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Revision	
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Page Title	Floor Plan - Block 3
Project	3-4 Johnston Grove Residential
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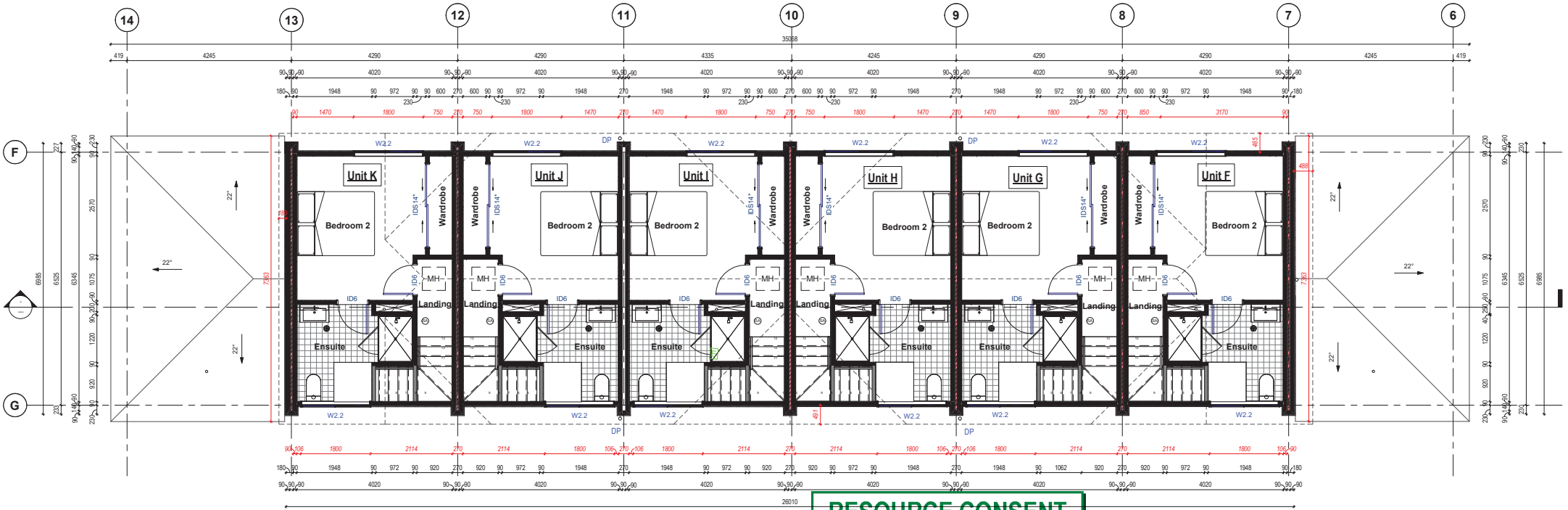
Sheet	RC2.3



1 Block 3 - Second Floor
1 : 50

RESOURCE CONSENT

GRANTED 29/06/2021

HUTT CITY COUNCIL

Floor Plan Notes

1. The contractor shall check and verify all dimensions, levels, council (public) drain positions and inverts prior to commencing any work. Notify Designer should dimensions or positions vary to that shown immediately
2. Kitchen joinery manufacturer shall take "On-site" measurements prior to fabrication.
3. For kitchen layout and joinery, refer to kitchen manufacturer documents
4. All glass to be as per NZS 4223 (part 3 in particular)
5. Window manufacturers shall check "On-site" all window openings sizes prior to fabrication.
6. Selected carpet to bedrooms and halls.
7. Bathroom to have selected tile on Mapei AquaDefense waterproofing system.
8. Electrical contractor to confirm positions of meter and distribution boards
9. Stairs to comply with NZBC requirements section D1/AS1: Secondary private : (acess to bedrooms and bathrooms)
   a. Tread 280mm min
   b. Riser 193.7mm max
   c. Going 255mm + 25mm nosing
   d. Floor covering - carpet to comply with D1/AS1 table 2
10. Balusters to comply with NZBC requirements section B1/AS2:
    a. 1m high for external decks & balconies.
    b. 1m min above finished floor level for internal balustrade
    c. D1/AS1 - stairs, ramps and handrails
    d. F4/AS1 - safety from falling.
11. Mechanical ventilation: To comply with G4/AS1 1.3.3 Mechanical extract fans (including associated ducting) must have a flow rate not less than the following:
    25 L/S for showers and baths and
    50L/S for cook tops.
12. Install a 4 n 1 valve in every unit which has a shut off, strainer and limiter with non return valve to prevent contamination caused by backflow.
13. Interior wet area paint finishes schedule in supporting documents.
14. All cook tops have a glass splash back 750ht x 600w
15. All rooms with metal ceiling battens must be linked together with a metal strap and earthed back to the fuse baord.
16. Walls between bathrooms and bedrooms to be insulated with batts to reduce noise. Ground floor toilets to be insulated also.

Joinery Notes

1. Frame & Truss to confirm joinery head height if window is underside of soffit. Contact Designer if necessary.
2. All heights and sizes to be confirm prior to manufacture
3. Ground Floor - 2.1m a.f.l
4. First Floor - Refer to plan
5. Refer sections and details.
6. Internal door height, Std 1980 Panels. except noted ones "ht"
7. Internal door to be pre drilled for hardware.
8. Lower stair raking wall to be installed once GIB on site
9. Living area sliding doors to be safety glass as per NZS4223.3:2016
10. Part height doors under stairs not to have pre drilled hardware
11. Part height doors under stairs to be fitted with push to open and magnetic latch only
12. All top floor cupboards noted with "ht" are to match the external window height. Refer to plans for which doors are marked.

Lighting Notes

1. Provide lighting on stairways and entry as per NZBC G8/AS1.
2. Two way light switch at top at bottom of stairs - as per G8/AS1.
3. All LED downlight to be Ca rated

Fire Protection Notes

1. Provide (30)/30/30 fire resistance rating between adjacent units. This has been achieved with the proposed construction method, Hebel PowerPanel 50 "Hebel 1925" wall system between the units. Refer to Hebel® specification. (90mm insulation R2.6)
2. Smoke detectors shall be fitted in accordance with AS1670.6 in every sleeping space or within 3 metres of every sleeping space door
3. All Wellington and 3 storey buildings to have interconnected smoke alarms. Code: 2107.CAV10WF
4. James Hardie Systems JHETGR30-N
5. Refer to GIB-Fire-Rated-Systems manual for fire wall penetrations

BLOCK 3 AREAS

Block Number	Unit Number	Area Level	Nett Area	Plate Area	Over Cladding
Block 3	Unit E	Ground Floor	27.3 m²	27.3 m²	27.7 m²
Block 3	Unit E	First Floor	27.3 m²	27.3 m²	27.7 m²
			54.6 m²	54.6 m²	55.4 m²
Block 3	Unit F	Second Floor	27.5 m²	27.5 m²	29.7 m²
Block 3	Unit F	Ground Floor	27.2 m²	27.2 m²	28.5 m²
Block 3	Unit F	First Floor	27.2 m²	27.2 m²	28.5 m²
			81.8 m²	81.8 m²	86.7 m²
Block 3	Unit G	Second Floor	27.8 m²	27.8 m²	27.9 m²
Block 3	Unit G	Ground Floor	27.8 m²	27.8 m²	27.9 m²
Block 3	Unit G	First Floor	27.8 m²	27.8 m²	27.9 m²
			83.3 m²	83.3 m²	83.8 m²
Block 3	Unit H	Second Floor	27.2 m²	26.7 m²	28.5 m²
Block 3	Unit H	Ground Floor	27.2 m²	27.2 m²	28.5 m²
Block 3	Unit H	First Floor	27.2 m²	27.2 m²	28.5 m²
			81.5 m²	81.0 m²	85.4 m²
Block 3	Unit I	Second Floor	27.2 m²	27.2 m²	28.5 m²
Block 3	Unit I	Ground Floor	27.2 m²	27.2 m²	28.4 m²
Block 3	Unit I	First Floor	27.2 m²	27.2 m²	28.5 m²
			81.5 m²	81.5 m²	85.4 m²
Block 3	Unit J	Second Floor	27.7 m²	27.7 m²	27.9 m²
Block 3	Unit J	Ground Floor	27.7 m²	27.5 m²	27.9 m²
Block 3	Unit J	First Floor	27.7 m²	27.7 m²	27.9 m²
			83.2 m²	83.0 m²	83.6 m²
Block 3	Unit K	Second Floor	28.1 m²	28.1 m²	28.9 m²
Block 3	Unit K	Ground Floor	27.5 m²	27.2 m²	28.2 m²
Block 3	Unit K	First Floor	27.5 m²	27.4 m²	28.2 m²
			83.0 m²	82.7 m²	85.2 m²
Block 3	Unit L	Ground Floor	27.3 m²	27.3 m²	27.7 m²
Block 3	Unit L	First Floor	27.3 m²	27.3 m²	27.7 m²
			54.6 m²	54.6 m²	55.4 m²
Grand total			603.7 m²	602.6 m²	620.9 m²

H1 Compliance

Schedule Method Units 1 to 6
Total Area of glazing walls (<30%) = 17.35% of total exterior walls
ESW Area of glazing walls (<30%) = 14.87% of ESW walls

Schedule Method used:
Minimum R Values from NZS4218 Table 1 Zone 3
a. Roof R3.3 = Use R3.6
b. Wall R2.0 = Use R2.4
c. Floor R1.3 = EXPOL Under floor R1.4
required where timber flooring is used

Glazing R0.26(vertical) = Double glazing required
Glazing Skylights = N/A

The values above are to show compliance and R value are the minimum allowed. The details in this project will show the true R values used are much higher than required

Stud Sizing 3 Storey Building

All framing covered by Engineer
All framing LVL8

Lower of Three Stories
90x45 Studs up to 2.4m @ 600ctrs
(If wall is part of a storey brick panel - Studs to be @ 400ctrs)

1st floor of Three Stories
90x45 Studs up to 2.4m @ 600ctrs
(If wall is part of a storey brick panel - Studs to be @ 400ctrs)

Upper of Three Stories
90x45 Studs up to 2.4m @ 600ctrs

Interior Framing
90x45 Studs up to 2.4m @ 600ctrs

Intertenancy Framing
90x45 Studs up to 2.4m @ 600ctrs as per Hebel System 1925 Specifications. Overall wall thickness 270mm (Excluding Gib).

One row of dwangs @ 1350 from FFL max
Dwangs @ 1350ctrs Max for Brick Veneer
Dwangs @ 600ctrs Max for Metal Cladding
One row of dwangs @ 600 from FFL max (Aluminium Weatherboard) Horiz & Vert install

Wall Legend

Exterior walls
- Cemintel 90mm timber frame
- 70mm Brick Veneer 90mm timber frame

Fire rated walls
- Hebel PowerPanel 50 Intertenancy wall system "Hebel 1925"

Interior walls
- GIB on timber frame (Refer to plan dimensions for stud size)
- Wall balustrade

Floor Plan Key

- Floor drain
- Floor waste gully (fwg)
- Smoke alarm (sa)
- Down pipe (dp)
- Water valve (mwv)
- Distribution & Meterbox (DB/MB)
- Hot water cylinder ducts (HWS, CW)
- Hot water cylinder (HWC) (hwc)
- Gully trap
- Extractor Vent path
- Outdoor tap (Tap)

- All work shall comply with the New Zealand Building Code and all relevant and associated standards, codes and territorial authority by-laws including terms and conditions of the building consent and any resource consents issued for project
- Architectural drawings are to be read in conjunction with the structural engineers drawings and vice versa.
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- All documentation must be read in full and completely understood before any works begin and any discrepancies or ambiguity shall be clarified with design LBP before any work commences
- The builder is responsible for the setting out of the works, the checking of all dimensions and levels on site, and the reporting of any discrepancies prior to commencement of work. Do not scale from these drawings.

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Revision	
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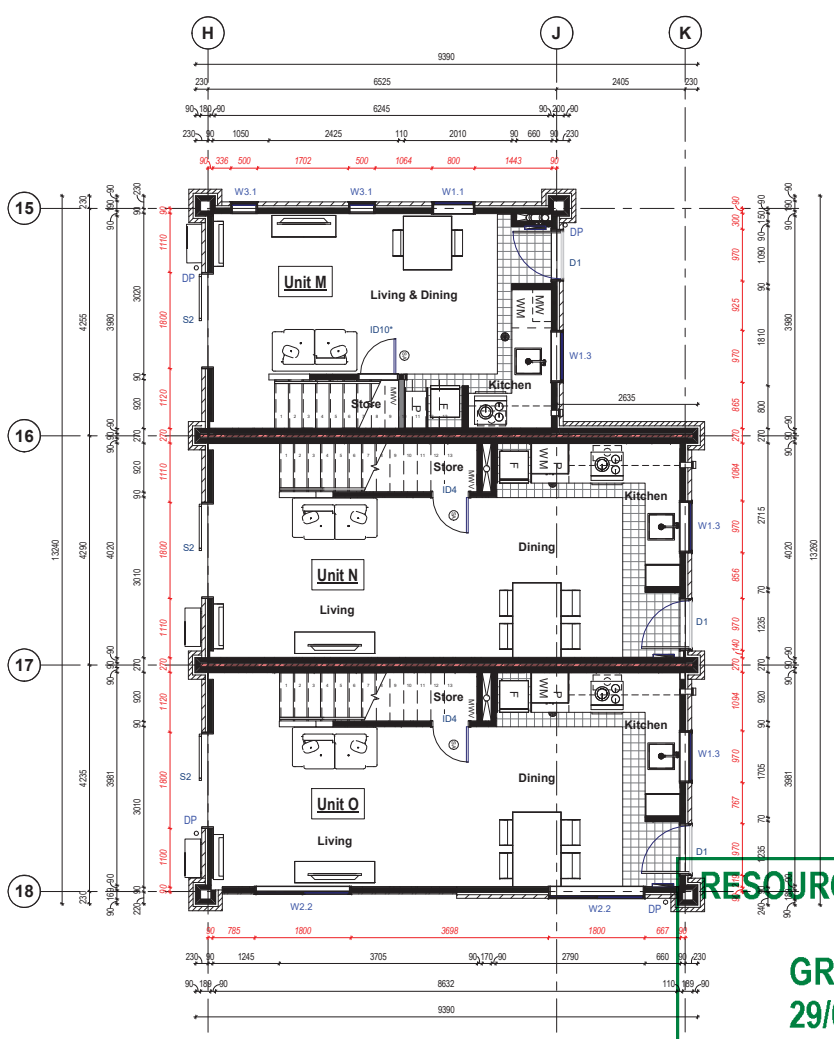
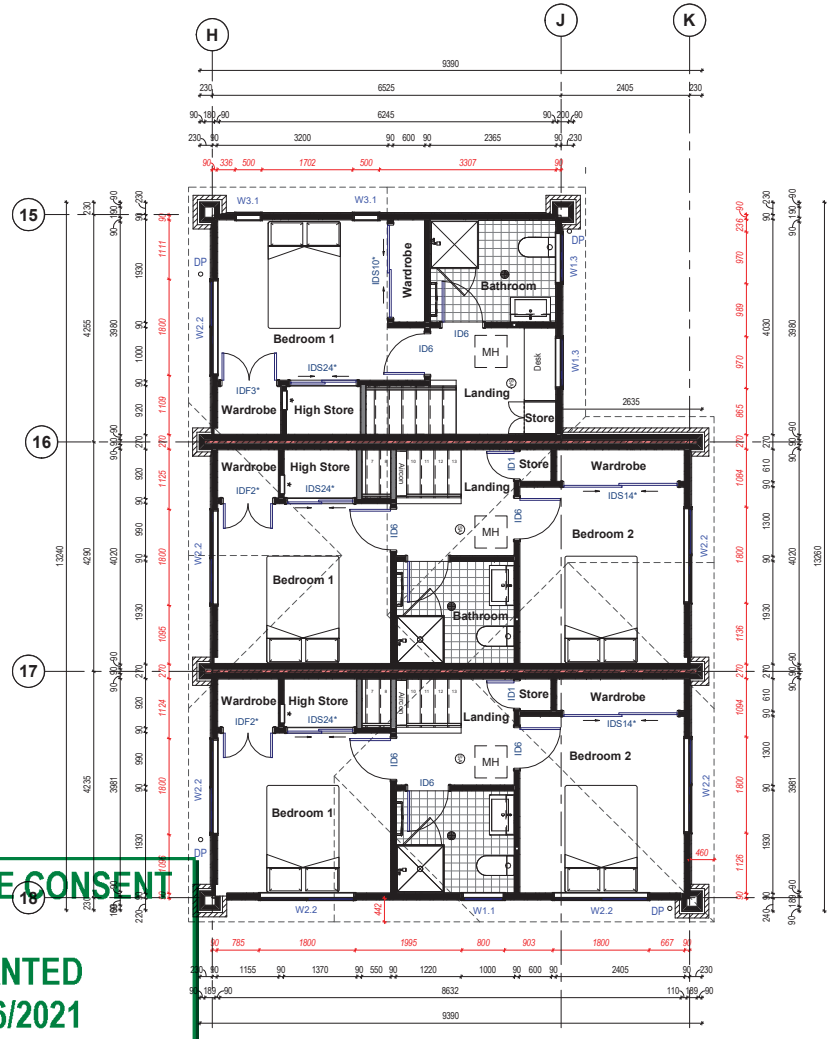
Project	3-4 Johnston Grove Residential
Address	3-4 Johnston Grove, Taita, Lower Hutt Wellington
Sheet	RC2.4



1 **Block 4 - Ground Floor Plan**
1 : 50



2 **Block 4 - First Floor Plan**
1 : 50

Floor Plan Notes

1. The contractor shall check and verify all dimensions, levels, council (public) drain positions and inverts prior to commencing any work. Notify Designer should dimensions or positions vary to that shown immediately
2. Kitchen joinery manufacturer shall take "On-site" measurements prior to fabrication.
3. For kitchen layout and joinery, refer to kitchen manufacturer documents
4. All glass to be as per NZS 4223 (part 3 in particular)
5. Window manufacturers shall check "On-site" all window openings sizes prior to fabrication.
6. Selected carpet to bedrooms and halls.
7. Bathroom to have selected tile on Mapei AquaDefense waterproofing system.
8. Electrical contractor to confirm positions of meter and distribution boards
9. Stairs to comply with NZBC requirements section D1/AS1:
   Secondary private : (acess to bedrooms and bathrooms)
   a. Tread 280mm min
   b. Riser 193.7mm max
   c. Going 255mm + 25mm nosing
   d. Floor covering - carpet to comply with D1/AS1 table 2
10. Balusters to comply with NZBC requirements section B1/AS2:
    a. 1m high for external decks & balconies.
    b. 1m min above finished floor level for internal balustrade
    c. D1/AS1 - stairs, ramps and handrails
    d. F4/AS1 - safety from falling.
11. Mechanical ventilation: To comply with G4/AS1 1.3.3 Mechanical extract fans (including associated ducting) must have a flow rate not less than the following:
    25 L/S for showers and baths and
    50L/S for cook tops.
12. Install a 4 n 1 valve in every unit which has a shut off, strainer and limiter with non return valve to prevent contamination caused by backflow.
13. Interior wet area paint finishes schedule in supporting documents.
14. All cook tops have a glass splash back 750ht x 600w
15. All rooms with metal ceiling battens must be linked together with a metal strap and earthed back to the fuse baord.
16. Walls between bathrooms and bedrooms to be insulated with batts to reduce noise. Ground floor toilets to be insulated also.

Joinery Notes

1. Frame & Truss to confirm joinery head height if window is underside of soffit. Contact Designer if necessary.
2. All heights and sizes to be confirm prior to manufacture
3. Ground Floor - 2.1m a.f.l
4. First Floor - Refer to plan
5. Refer sections and details.
6. Internal door height, Std 1980 Panels. except noted ones "ht"
7. Internal door to be pre drilled for hardware.
8. Lower stair raking wall to be installed once GIB on site
9. Living area sliding doors to be safety glass as per NZS4223.3:2016
10. Part height doors under stairs not to have pre drilled hardware
11. Part height doors under stairs to be fitted with push to open and magnetic latch only
12. All top floor cupboards noted with "ht" are to match the external window height. Refer to plans for which doors are marked.

Lighting Notes

1. Provide lighting on stairways and entry as per NZBC G8/AS1.
2. Two way light switch at top at bottom of stairs - as per G8/AS1.
3. All LED downlight to be Ca rated

Fire Protection Notes

1. Provide (30)/30/30 fire resistance rating between adjacent units. This has been achieved with the proposed construction method, Hebel PowerPanel 50 "Hebel 1925" wall system between the units. Refer to Hebel® specification. (90mm insulation R2.6)
2. Smoke detectors shall be fitted in accordance with AS1670.6 in every sleeping space or within 3 metres of every sleeping space door
3. All Wellington and 3 storey buildings to have interconnected smoke alarms. Code: 2107 CAV10WF
4. James Hardie Systems JHETGR30-N
5. Refer to GIB-Fire-Rated-Systems manual for fire wall penetrations

H1 Compliance

Schedule Method Units 1 to 6
Total Area of glazing walls (<30%) = 17.35% of total exterior walls
ESW Area of glazing walls (<30%) = 14.87% of ESW walls

Schedule Method used:
Minimum R Values from NZS4218 Table 1 Zone 3
a. Roof R3.3 = Use R3.6
b. Wall R2.0 = Use R2.4
c. Floor R1.3 = EXPOL Under floor R1.4
   required where timber flooring is used

Glazing R0.26(vertical) = Double glazing required
Glazing Skylights = N/A

The values above are to show compliance and R value are the minimum allowed. The details in this project will show the true R values used are much higher than required

Stud Sizing & Dwangs

Stud sizing as per NZS 3604:2011
SG8 LVL framing
Load Bearing walls (Max High Wind Zones) up to 6m load dimension

Lower of Two Storey
90x45 Studs up to 2.4m @ 400ctrs

Upper of Two Storey LVL8
90x45 Studs up to 2.4m @ 600ctrs

Interior Framing
90x45 Studs up to 2.4m @ 600ctrs

Intertenancy Framing
90x45 Studs up to 2.4m @ 600ctrs as per Hebel System Specifications "Hebel 1925". Overall wall thickness 270mm (Excluding Gib).

One row of dwangs @ 1350 from FFL max
Dwangs @ 800ctrs Max for BGC Claddings
Cemintel require rows of dwangs @ 600 ctrs max

Wall Legend

Exterior walls
- Cemintel 90mm timber frame
- 70mm Brick Veneer 90mm timber frame

Fire rated walls
- Hebel PowerPanel 50 Intertenancy wall system "Hebel 1925"

Interior walls
- GIB on timber frame (Refer to plan dimensions for stud size)
- Wall balustrade

Floor Plan Key

- Floor drain
- Floor waste gully (fwg)
- Smoke alarm (sa)
- Down pipe (dp)
- Water valve (WWV)
- Distribution & Meterbox (DB/MB)
- Hot water cylinder ducts (HWS / CW)
- Hot water cylinder (HWC) (hwc)
- Gully trap
- Extractor Vent path
- Outdoor tap (Tap)

BLOCK 4 AREAS

Block Number	Unit Number	Area Level	Nett Area	Plate Area	Over Cladding
Block 4	Unit M	Ground Floor	27.8 m²	27.9 m²	29.1 m²
Block 4	Unit M	First Floor	27.5 m²	27.6 m²	28.8 m²
			55.3 m²	55.5 m²	57.9 m²
Block 4	Unit N	Ground Floor	38.5 m²	37.6 m²	38.9 m²
Block 4	Unit N	First Floor	38.2 m²	37.6 m²	38.6 m²
			76.6 m²	75.2 m²	77.4 m²
Block 4	Unit O	Ground Floor	37.1 m²	36.3 m²	39.5 m²
Block 4	Unit O	First Floor	36.8 m²	36.3 m²	38.8 m²
			74.0 m²	72.5 m²	78.2 m²
Grand total			205.8 m²	203.2 m²	213.6 m²

- All work shall comply with the New Zealand Building Code and all relevant and associated standards, codes and territorial authority by-laws including terms and conditions of the building consent and any resource consents issued for project
- Architectural drawings are to be read in conjunction with the structural engineers drawings and vice versa.
- All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendations and specifications.
- All documentation must be read in full and completely understood before any works begin and any discrepancies or ambiguity shall be clarified with design LBP before any work commences
- The builder is responsible for the setting out of the works, the checking of all dimensions and levels on site, and the reporting of any discrepancies prior to commencement of work. Do not scale from these drawings.

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Address	3-4 Johnston Grove, Taita, Lower Hutt Wellington
Sheet	RC2.6

Stud Sizing & Dwangs

Stud sizing as per NZS 3604:2011
SG8 LVL framing
Load Bearing walls (Max High Wind Zones) up to 6m load dimension

Lower of Two Storey
90x45 Studs up to 2.4m @ 400ctrs

Upper of Two Storey LVL8
90x45 Studs up to 2.4m @ 600ctrs

Interior Framing
90x45 Studs up to 2.4m @ 600ctrs

Intertenancy Framing
90x45 Studs up to 2.4m @ 600ctrs as per Hebel System Specifications "Hebel 1925". Overall wall thickness 270mm (Excluding Gib).

One row of dwangs @ 1350 from FFL max
Dwangs @ 800ctrs Max for BGC Claddings
Cemintel require rows of dwangs @ 600 ctrs max

RESOURCE CONSENT

GRANTED
29/06/2021

HUTT CITY COUNCIL

HUTT CITY
TE AWA KAIRANGI

Wall Legend

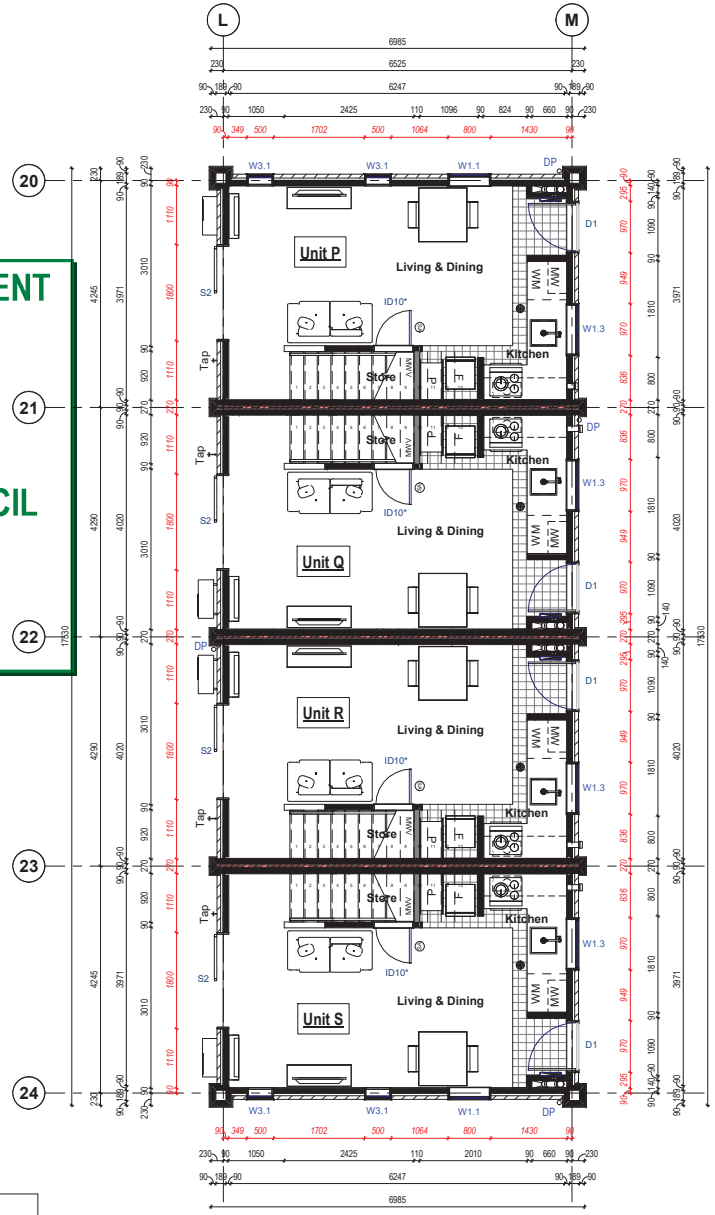
Exterior walls
- Cemintel 90mm timber frame
- 70mm Brick Veneer 90mm timber frame

Fire rated walls
- Hebel PowerPanel 50 Intertenancy wall system "Hebel 1925"

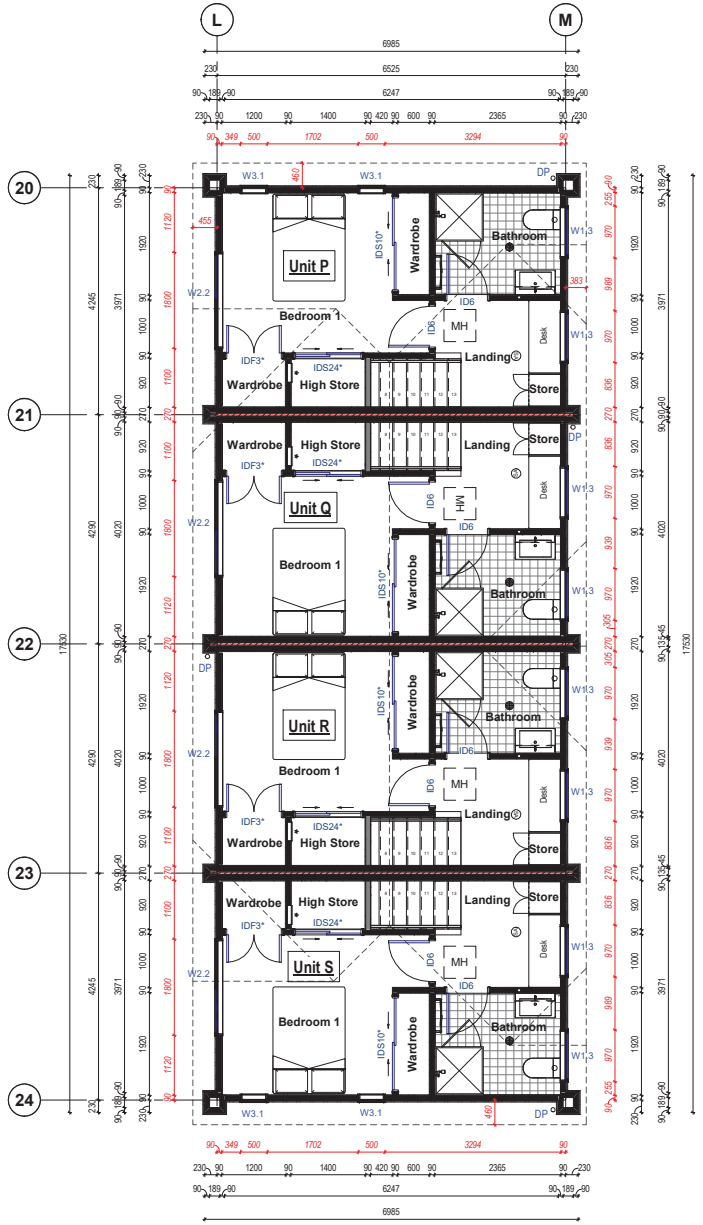
Interior walls
- GIB on timber frame (Refer to plan dimensions for stud size)
- Wall balustrade

Floor Plan Key

- Floor drain
- Floor waste gully (fwg)
- Smoke alarm
- Down pipe (dp)
- Water valve (mwv)
- Distribution & Meterbox (DB/MB)
- Hot water cylinder ducts (HWS, CW)
- Hot water cylinder (HWC) (hwc)
- Gully trap
- Extractor Vent path
- Outdoor tap (Tap)



1 **Block 5 - Ground Floor Plan**
1 : 50



2 **Block 5 - First Floor Plan**
1 : 50

BLOCK 5 AREAS

Block Number	Unit Number	Area Level	Nett Area	Plate Area	Over Cladding
Block 5	Unit P	Ground Floor	27.9 m²	26.4 m²	29.7 m²
Block 5	Unit P	First Floor	26.4 m²	26.4 m²	28.7 m²
			54.3 m²	52.8 m²	58.3 m²
Block 5	Unit Q	Ground Floor	28.1 m²	27.2 m²	29.1 m²
Block 5	Unit Q	First Floor	27.2 m²	27.2 m²	28.5 m²
			55.3 m²	54.4 m²	57.6 m²
Block 5	Unit R	Ground Floor	28.1 m²	27.2 m²	29.1 m²
Block 5	Unit R	First Floor	27.2 m²	27.2 m²	28.5 m²
			55.3 m²	54.4 m²	57.6 m²
Block 5	Unit S	Ground Floor	27.9 m²	26.4 m²	29.8 m²
Block 5	Unit S	First Floor	26.4 m²	26.4 m²	28.7 m²
			54.3 m²	52.8 m²	58.5 m²
Grand total			219.2 m²	214.3 m²	232.0 m²

Floor Plan Notes

1. The contractor shall check and verify all dimensions, levels, council (public) drain positions and inverts prior to commencing any work. Notify Designer should dimensions or positions vary to that shown immediately
2. Kitchen joinery manufacturer shall take "On-site" measurements prior to fabrication.
3. For kitchen layout and joinery, refer to kitchen manufacturer documents
4. All glass to be as per NZS 4223 (part 3 in particular)
5. Window manufacturers shall check "On-site" all window openings sizes prior to fabrication.
6. Selected carpet to bedrooms and halls.
7. Bathroom to have selected tile on Mapei AquaDefense waterproofing system.
8. Electrical contractor to confirm positions of meter and distribution boards
9. Stairs to comply with NZBC requirements section D1/AS1:
   Secondary private : (acess to bedrooms and bathrooms)
   a. Tread 280mm min
   b. Riser 193.7mm max
   c. Going 255mm + 25mm nosing
   d. Floor covering - carpet to comply with D1/AS1 table 2
10. Balusters to comply with NZBC requirements section B1/AS2:
    a. 1m high for external decks & balconies.
    b. 1m min above finished floor level for internal balustrade
    c. D1/AS1 - stairs, ramps and handrails
    d. F4/AS1 - safety from falling.
11. Mechanical ventilation: To comply with G4/AS1 1.3.3 Mechanical extract fans (including associated ducting) must have a flow rate not less than the following:
    25 L/S for showers and baths and
    50L/S for cook tops.
12. Install a 4 n 1 valve in every unit which has a shut off, strainer and limiter with non return valve to prevent contamination caused by backflow.
13. Interior wet area paint finishes schedule in supporting documents.
14. All cook tops have a glass splash back 750ht x 600w
15. All rooms with metal ceiling battens must be linked together with a metal strap and earthed back to the fuse baord.
16. Walls between bathrooms and bedrooms to be insulated with batts to reduce noise. Ground floor toilets to be insulated also.

Joinery Notes

1. Frame & Truss to confirm joinery head height if window is underside of soffit. Contact Designer if necessary.
2. All heights and sizes to be confirm prior to manufacture
3. Ground Floor - 2.1m a.f.l
4. First Floor - Refer to plan
5. Refer sections and details.
6. Internal door height, Std 1980 Panels. except noted ones "ht"
7. Internal door to be pre drilled for hardware.
8. Lower stair raking wall to be installed once GIB on site
9. Living area sliding doors to be safety glass as per NZS4223.3:2016
10. Part height doors under stairs not to have pre drilled hardware
11. Part height doors under stairs to be fitted with push to open and magnetic latch only
12. All top floor cupboards noted with "ht" are to match the external window height. Refer to plans for which doors are marked.

Lighting Notes

1. Provide lighting on stairways and entry as per NZBC G8/AS1.
2. Two way light switch at top at bottom of stairs - as per G8/AS1.
3. All LED downlight to be Ca rated

Fire Protection Notes

1. Provide (30)/30/30 fire resistance rating between adjacent units. This has been achieved with the proposed construction method, Hebel PowerPanel 50 "Hebel 1925" wall system between the units. Refer to Hebel® specification. (90mm insulation R2.6)
2. Smoke detectors shall be fitted in accordance with AS1670.6 in every sleeping space or within 3 metres of every sleeping space door
3. All Wellington and 3 storey buildings to have interconnected smoke alarms. Code: 2107 CAV10WF
4. James Hardie Systems JHETGR30-N
5. Refer to GIB-Fire-Rated-Systems manual for fire wall penetrations

H1 Compliance

Schedule Method Units 1 to 6
Total Area of glazing walls (<30%) = 17.35% of total exterior walls
ESW Area of glazing walls (<30%) = 14.87% of ESW walls

Schedule Method used:
Minimum R Values from NZS4218 Table 1 Zone 3
a. Roof R3.3 = Use R3.6
b. Wall R2.0 = Use R2.4
c. Floor R1.3 = EXPOL Under floor R1.4
   required where timber flooring is used

Glazing R0.26(vertical) = Double glazing required
Glazing Skylights = N/A

The values above are to show compliance and R value are the minimum allowed. The details in this project will show the true R values used are much higher than required

Description	Rev	Date	Issued by

WILLIAMS CORPORATION

Revision		Page Title	Floor Plan - Block 5
Scale	A1 page size (Half scale @ A3)	Project	3-4 Johnston Grove Residential
Issue Date	03/01/21	Address	3-4 Johnston Grove, Taita, Lower Hutt Wellington
Time Stamp	19/03/2021 11:26:17 am	Sheet	RC2.7

H1 Compliance

Schedule Method Units 1 to 6
Total Area of glazing walls (<30%) = 17.22% of total exterior walls
ESW Area of glazing walls (<30%) = 15.79% of ESW walls

Schedule Method used:
Minimum R Values from NZS4218 Table 1 Zone 3
a. Roof R3.3 = Use R3.6
b. Wall R2.0 = Use R2.4
c. Floor R1.3 = EXPOL Under floor R1.4
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Colour Schedule "Salisbury"

"Matt Black" Windows, Front Door LRV 04% RGB 43 43 44

Cemintel Territory Panel (Main Cladding) "Savanna Cloud" EPS241

"Black / Ebony" Roof, Fasica, Gutter Downpipes

The Brickery Schist feature "Black Autumn"

"Alicante" (By Austral Bricks) 230 x 119 x 70mm on white mortar Rolled ends

"Resene Half Black White" Soffits RGB 240 236 234 LVR 86

Prolam H5 Clear Laminated Posts, "Cabot's Deck & Exterior Stain, New Rustic Oak" Galv. steel brackets painted black

Elevation Key

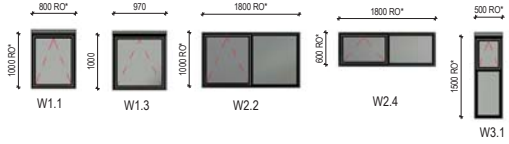
Key Value	Keynote Text
1	Selected colourSteel longrun roofing
2	Double glazed aluminium powdercoated window and door joinery with compression seals. Glazing to be 10/12/6 to meet (Noise requirement)
3	Selected colourSteel fascia and gutter
4	Selected colourSteel 80mm downpipes
5	Selected Cemintel panel run horizontal
6	Selected 70 series brick veneer cladding
7	Laminated timber pergola frames. Free standing and painted with metal corner L brackets

Window Schedule

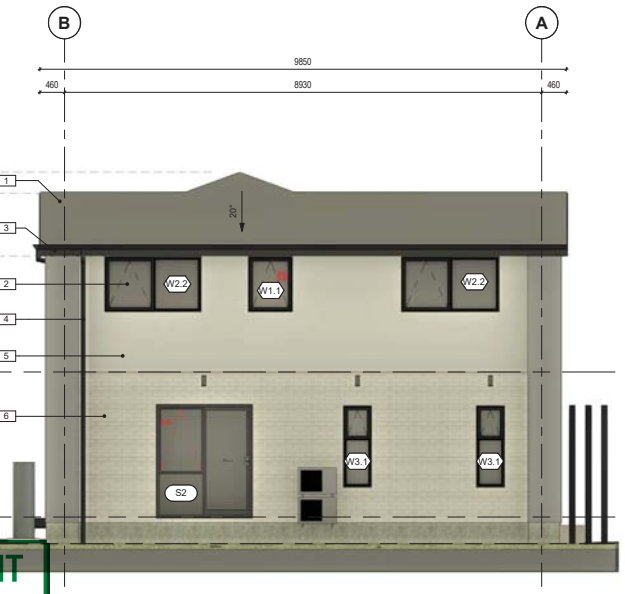
Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Count
W1.1	1030	830	1000	800	10
W1.3	1030	1000	1000	970	39
W2.2	1030	1830	1000	1800	40
W2.4	630	1830	600	1800	1
W3.1	1530	530	1500	500	34
Grand total: 124					124

Door Schedule

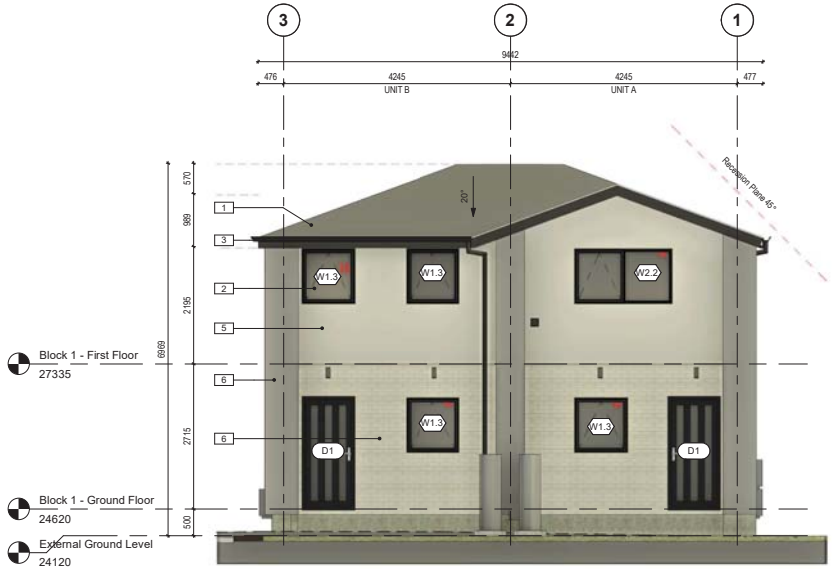
Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Count
D1	2110	990	2100	970	29
S1	2110	1820	2100	1800	7
S2	2110	1820	2100	1800	20
Grand total: 56					56



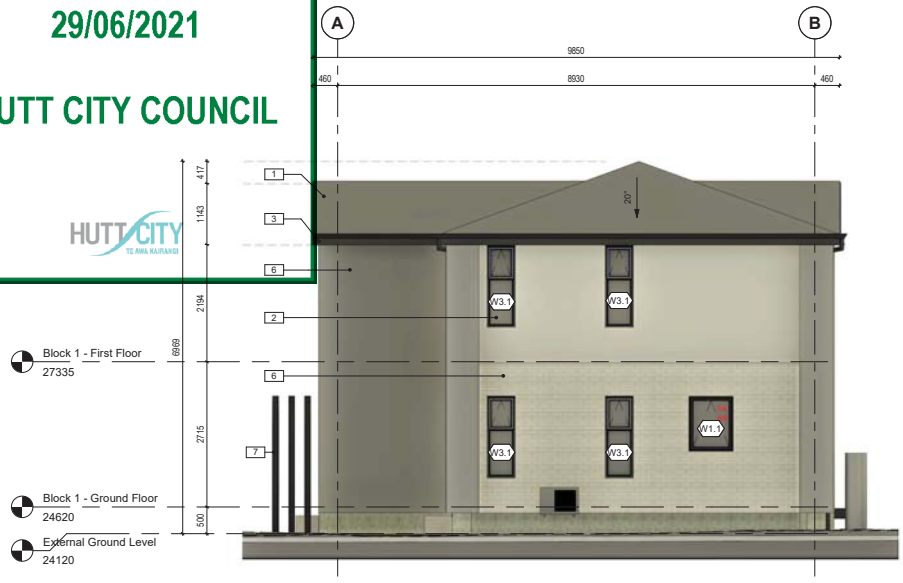
Door/Window Key Notes:
1. Viewed from outside
2. RO sizes take precedence over other sizes
3. Wet area glazing to be safety glass
4. SG = Saftey glazing
5. OB = Obsure glazing
6. Tint = Tinted glass
7. SS = Safety stays to all bathrooms and to all 1st & 2nd storey windows with opening closer to 760mm to FFL



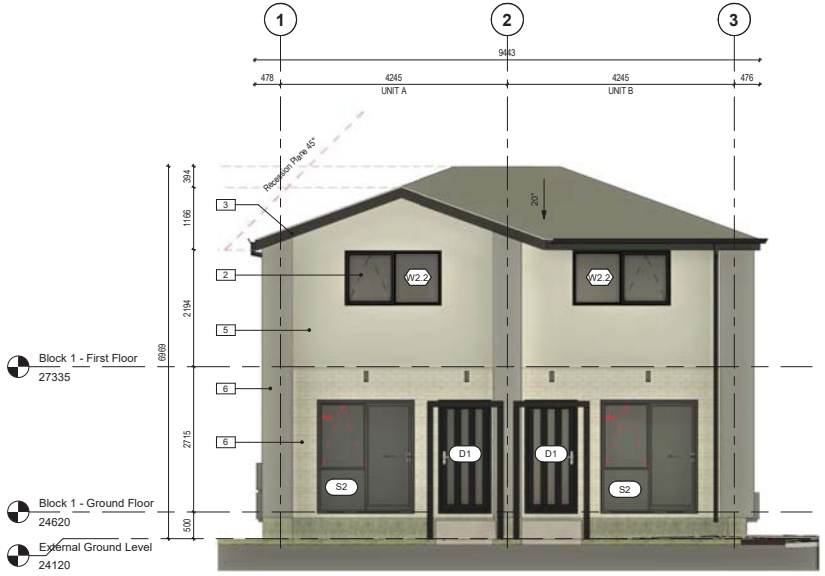
3 **Block 1 - North Elevation**
1 : 50



5 **Block 1 - East Elevation**
1 : 50



4 **Block 1 - South Elevation**
1 : 50



6 **Block 1 - West Elevation**
1 : 50

RESOURCE CONSENT

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HUTT CITY TE AWA KAIRANGI

- All work shall comply with the New Zealand Building Code and all relevant and associated standards, codes and territorial authority by-laws including terms and conditions of the building consent and any resource consents issued for project
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- The builder is responsible for the setting out of the works, the checking of all dimensions and levels on site, and the reporting of any discrepancies prior to commencement of work. Do not scale from these drawings.

Description	Rev	Date	Issued by

WILLIAMS CORPORATION

Revision	
Scale	A1 page size (Half scale @ A3)
Issue Date	12/24/19
Time Stamp	19/03/2021 11:26:38 am
Page Title	Elevations - Block 1
Project	3-4 Johnston Grove Residential
Address	3-4 Johnston Grove, Taita, Lower Hutt Wellington
Sheet	RC3.0

H1 Compliance

Schedule Method Units 1 to 6
Total Area of glazing walls (<30%) = 17.22% of total exterior walls
ESW Area of glazing walls (<30%) = 15.79% of ESW walls

Schedule Method used:
Minimum R Values from NZS4218 Table 1 Zone 3
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Colour Schedule "Salisbury"

"Matt Black" Windows, Front Door LRV 04% RGB 43 43 44

Cemintel Territory Panel (Main Cladding) "Savanna Cloud" EPS241

"Black / Ebony" Roof, Fascia, Gutter Downpipes

The Brickery Schist feature "Black Autumn"

"Alicante" (By Austral Bricks) 230 x 110 x 70mm -Off white mortar -Rolled joint

"Resene Half Black White" Soffits RGB 240 238 234 LVR 86

Prolam H5 Clear Laminated Posts, "Cabot's Deck & Exterior Stain, New Rustic Oak" Galv. steel brackets painted black

Elevation Key

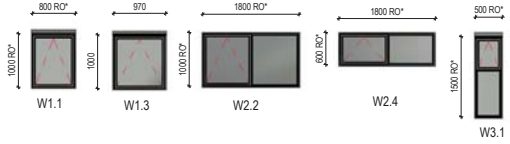
Key Value	Keynote Text
1	Selected Cemintel panel run horizontal
2	Selected 70 series brick veneer cladding
3	Double glazed aluminium powdercoated window and door joinery with compression seals. Glazing to be 10/12/6 to meet (Noise requirement)
4	Selected colorsteel longrun roofing
5	Laminated timber pergola frames. Free standing and painted with metal corner brackets
6	Selected colorsteel 80mm downpipes
7	Selected colorsteel fascia and gutter

Window Schedule

Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Count
W1.1	1030	830	1000	800	10
W1.3	1030	1000	1000	970	39
W2.2	1030	1830	1000	1800	40
W2.4	630	1830	600	1800	1
W3.1	1530	530	1500	500	34
Grand total: 124					124

Door Schedule

Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Count
D1	2110	990	2100	970	29
S1	2110	1820	2100	1800	7
S2	2110	1820	2100	1800	20
Grand total: 56					56



Door/Window Key Notes:
1. Viewed from outside
2. RO sizes take precedence over other sizes
3. Wet area glazing to be safety glass
4. SG = Saftey glazing
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6. Tint = Tinted glass
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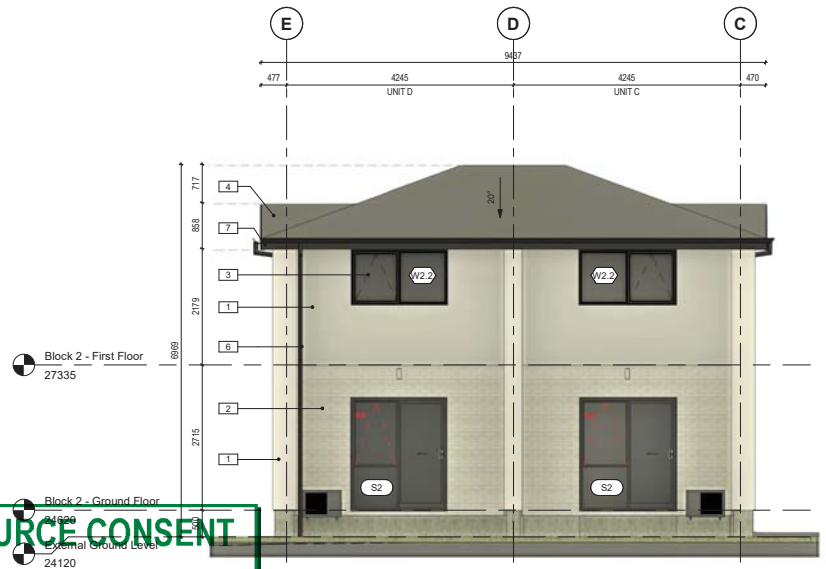
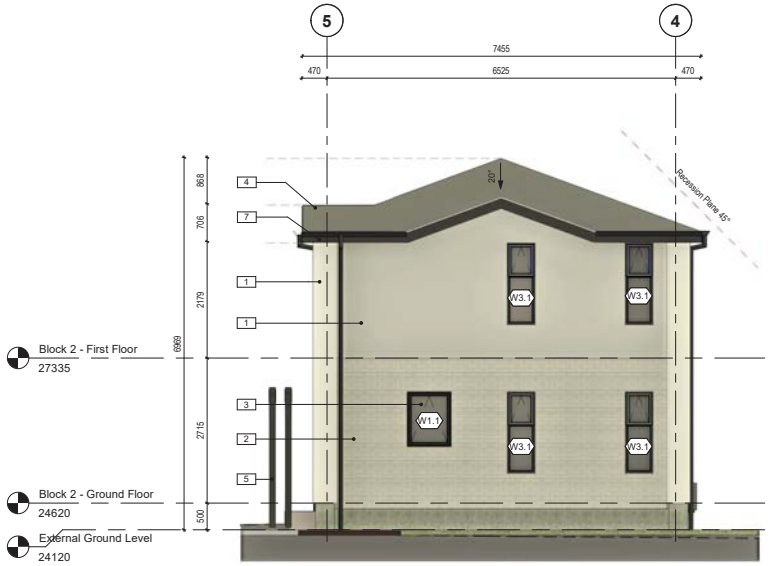
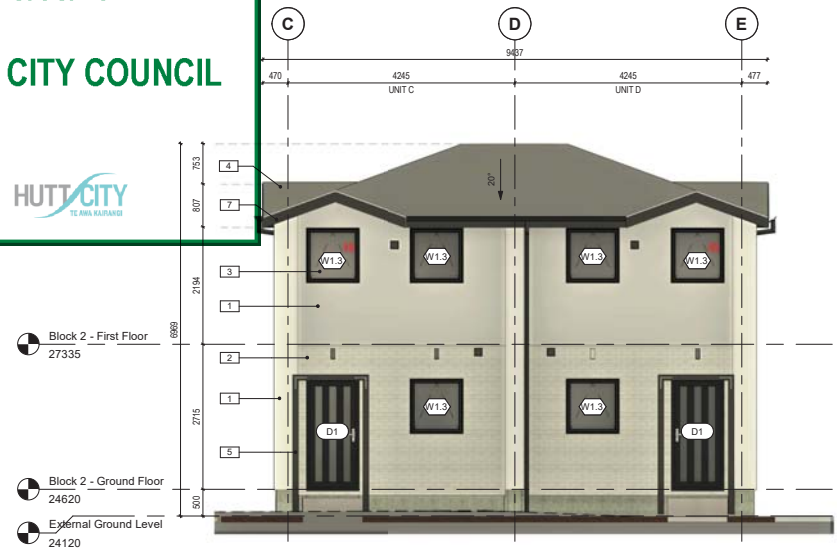


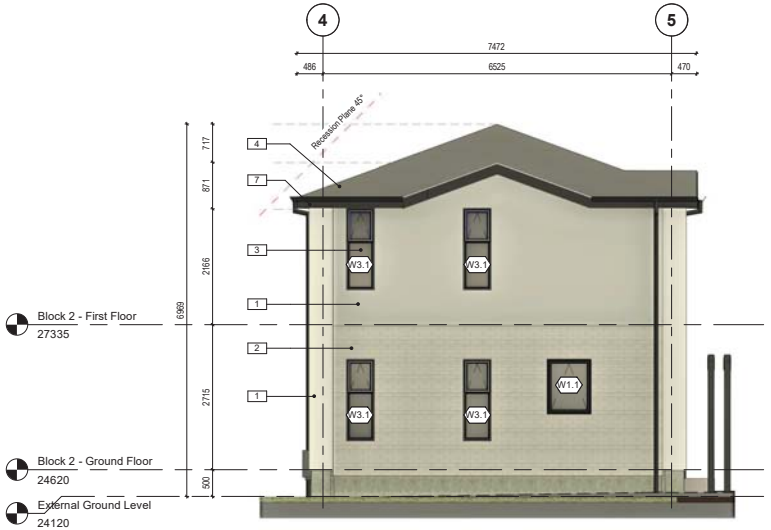
1 **Block 2 - North Elevation**
1 : 50



3 **Block 2 - East Elevation**
1 : 50



2 **Block 2 - South Elevation**
1 : 50



4 **Block 2 - West Elevation**
1 : 50

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Description	Rev	Date	Issued by

WILLIAMS CORPORATION

Revision	
Scale	A1 page size (Half scale @ A3)
Issue Date	03/02/21
Time Stamp	19/03/2021 11:26:51 am
Page Title	Elevations - Block 2
Project	3-4 Johnston Grove Residential
Address	3-4 Johnston Grove, Taita, Lower Hutt Wellington
Sheet	RC3.1

H1 Compliance

Schedule Method Units 1 to 6
Total Area of glazing walls (<30%) = 17.22% of total exterior walls
ESW Area of glazing walls (<30%) = 15.79% of ESW walls

Schedule Method used:
Minimum R Values from NZS4218 Table 1 Zone 3
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Glazing R0.26(vertical) = Double glazing required
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Colour Schedule "The Millbrook"

Cemintel Territory Panel (Main Cladding) "Savanna Cloud"

"Matt Black" Windows, Front Door LRV 04% RGB 43 43 44

Cemintel Territory Panel (Feature) "Woodlands Ebony"

"Black / Ebony" Roof, Fasica, Gutter Downpipes

"Resene Half Black White" Soffits RGB 240 238 234 LVR 86

Prolam H5 Clear Laminated Posts, "Cabot's Deck & Exterior Stain, New Rustic Oak" Galv. steel brackets painted black

Elevation Key

Key Value	Keynote Text
1	Selected Cemintel panel run horizontal
2	Selected colour steel fascia and gutter
3	Double glazed aluminium powdercoated window and door joinery with compression seals. Glazing to be 10/12/6 to meet (Noise requirement)
4	Selected double glazed powder coated aluminium joinery
5	Selected colour steel longrun roofing
6	Selected colour steel 80mm downpipes

Window Schedule

Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Count
W1.1	1030	830	1000	800	10
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Door Schedule

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D1	2110	990	2100	970	29
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Grand total: 56					56

Door/Window Key Notes:
1. Viewed from outside
2. RO sizes take precedence over other sizes
3. Wet area glazing to be safety glass
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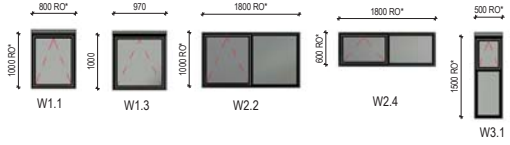
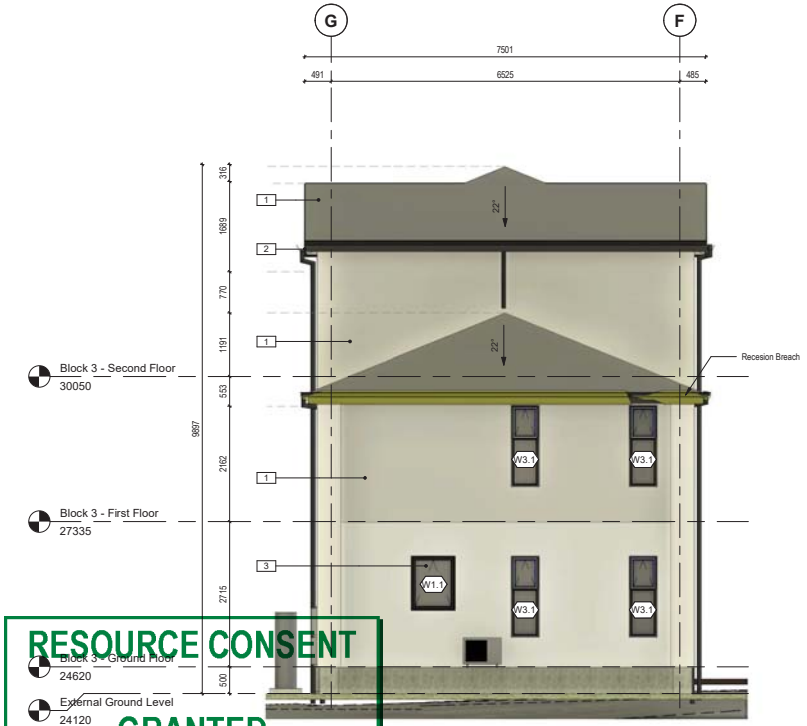
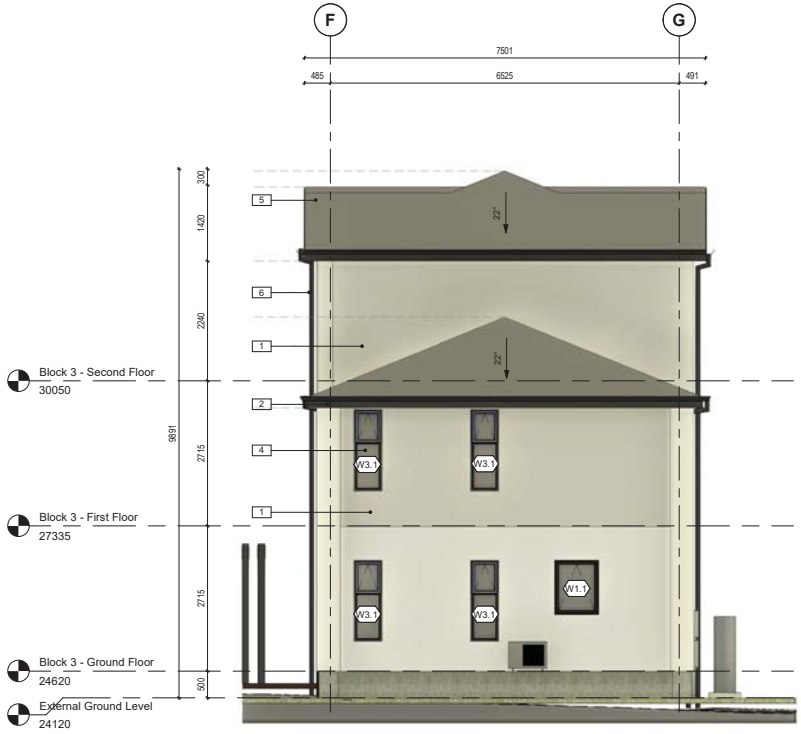




1 Block 3 - North Elevation
1 : 50



2 Block 3 - South Elevation
1 : 50

RESOURCE CONSENT
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29/06/2021
HUTT CITY COUNCIL

HUTT CITY TE AWA KAIRANGI

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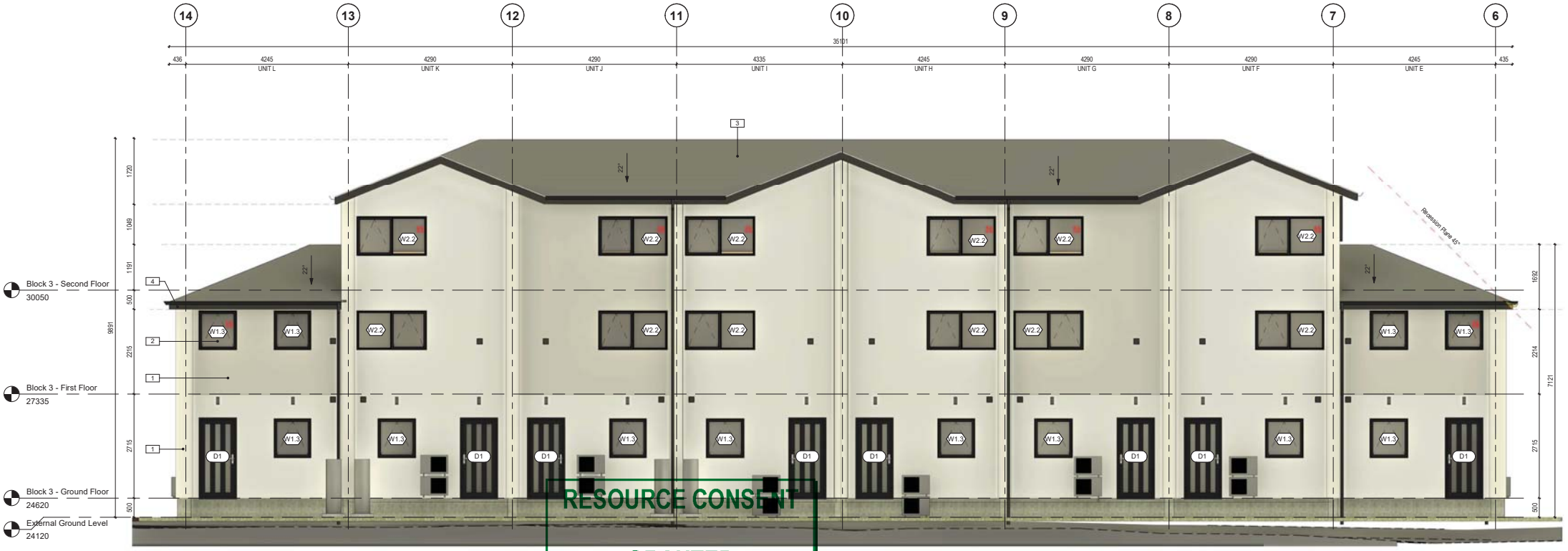
Description	Rev	Date	Issued by

WILLIAMS CORPORATION

Revision	
Scale	A1 page size (Half scale @ A3)
Issue Date	03/02/21
Time Stamp	19/03/2021 11:27:04 am
Page Title	Elevations - Block 3
Project	3-4 Johnston Grove Residential
Address	3-4 Johnston Grove, Taita, Lower Hutt Wellington
Sheet	RC3.2



RESOURCE CONSENT

GRANTED
29/06/2021

HUTT CITY COUNCIL

1 Block 3 - East Elevation
1 : 50

Colour Schedule "The Millbrook"

Cemintel Territory Panel (Main Cladding) "Savanna Cloud"	"Matt Black" Windows, Front Door LRV 04% RGB 43 43 44	
Cemintel Territory Panel (Feature) "Woodlands Ebony"	"Black / Ebony" Roof, Fasica, Gutter Downpipes	
"Resene Half Black White" Soffits RGB 240 238 234 LVR 86	Prolam H5 Clear Laminated Posts, "Cabot's Deck & Exterior Stain, New Rustic Oak" Galv. steel brackets painted black	

Elevation Key	
Key Value	Keynote Text
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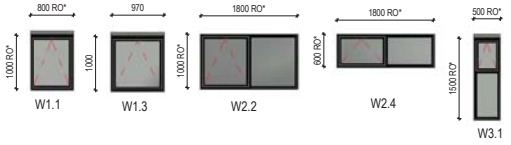

Window Schedule					
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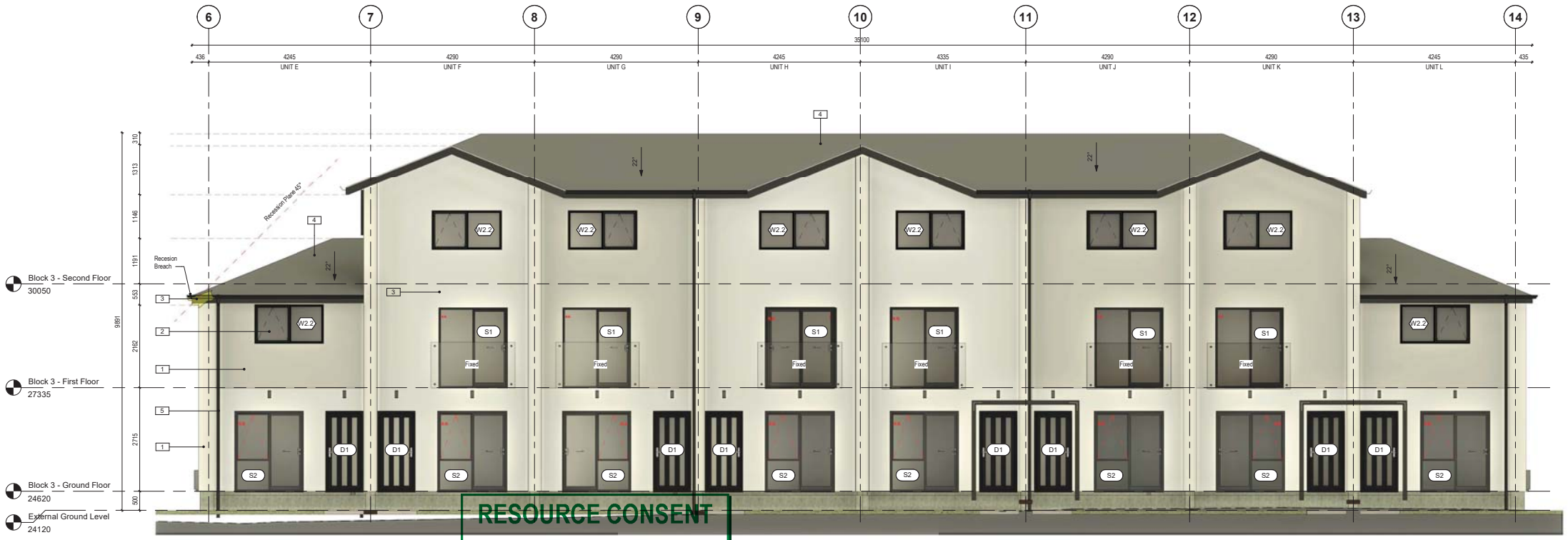
Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Count
D1	2110	990	2100	970	29
S1	2110	1820	2100	1800	7
S2	2110	1820	2100	1800	20
Grand total: 56					56

Description	Rev	Date	Issued by

WILLIAMS CORPORATION

Revision	
Scale	A1 page size (Half scale @ A3)
Issue Date	03/02/21
Time Stamp	19/03/2021 11:27:14 am
Page Title	Elevations - Block 3
Project	3-4 Johnston Grove Residential
Address	3-4 Johnston Grove, Taita, Lower Hutt Wellington
Sheet	RC3.3



1 Block 3 - West Elevation

1 : 50

RESOURCE CONSENT

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29/06/2021

HUTT CITY COUNCIL

Colour Schedule "The Millbrook"

Cemintel Territory Panel (Main Cladding) "Savanna Cloud"		"Matt Black" Windows, Front Door LRV 04% RGB 43 43 44
Cemintel Territory Panel (Feature) "Woodlands Ebony"		"Black / Ebony" Roof, Fasica, Gutter Downpipes
"Resene Half Black White" Soffits RGB 240 238 234 LVR 86		Prolam H5 Clear Laminated Posts, "Cabot's Deck & Exterior Stain, New Rustic Oak" Galv. steel brackets painted black

Elevation Key

Key Value	Keynote Text
1	Selected Cemintel panel run horizontal
2	Double glazed aluminium powdercoated window and door joinery with compression seals. Glazing to be 10/12/6 to meet (Noise requirement)
3	Selected colourstee fascia and gutter
4	Selected colourstee longrun roofing
5	Selected colourstee 80mm downpipes

H1 Compliance

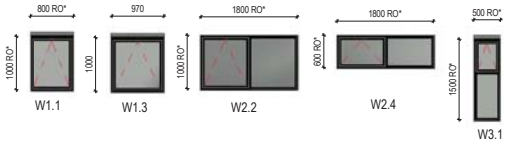
Schedule Method Units 1 to 6
Total Area of glazing walls (<30%) = 17.22% of total exterior walls
ESW Area of glazing walls (<30%) = 15.79% of ESW walls

Schedule Method used:
Minimum R Values from NZS4218 Table 1 Zone 3
a. Roof R3.3 = Use R3.6
b. Wall R2.0 = Use R2.4
c. Floor R1.3 = EXPOL Under floor R1.4
required where timber flooring is used
Glazing R0.26(vertical) = Double glazing required
Glazing Skylights = N/A

The values above are to show compliance and R value are the minimum allowed. The details in this project will show the true R values used are much higher than required

Door/Window Key Notes:

1. Viewed from outside
2. RO sizes take precedence over other sizes
3. Wet area glazing to be safety glass
4. SG = Saftey glazing
5. OB = Obsure glazing
6. Tint = Tinted glass
7. SS = Safety stays to all bathrooms and to all 1st & 2nd storey windows with opening closer to 760mm to FFL



Window Schedule

Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Count
W1.1	1030	830	1000	800	10
W1.3	1030	1000	1000	970	39
W2.2	1030	1830	1000	1800	40
W2.4	630	1830	600	1800	1
W3.1	1530	530	1500	500	34
Grand total: 124					124

Door Schedule

Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Count
D1	2110	990	2100	970	29
S1	2110	1820	2100	1800	7
S2	2110	1820	2100	1800	20
Grand total: 56					56

Description	Rev	Date	Issued by

WILLIAMS CORPORATION

Revision	
Scale	A1 page size (Half scale @ A3)
Issue Date	03/10/21
Time Stamp	19/03/2021 11:27:27 am
Page Title	Elevations - Block 3
Project	3-4 Johnston Grove Residential
Address	3-4 Johnston Grove, Taita, Lower Hutt Wellington
Sheet	RC3.4

H1 Compliance

Schedule Method Units 1 to 6
Total Area of glazing walls (<30%) = 17.22% of total exterior walls
ESW Area of glazing walls (<30%) = 15.79% of ESW walls

Schedule Method used:
Minimum R Values from NZS4218 Table 1 Zone 3
a. Roof R3.3 = Use R3.6
b. Wall R2.0 = Use R2.4
c. Floor R1.3 = EXPOL Under floor R1.4
required where timber flooring is used
Glazing R0.26(vertical) = Double glazing required
Glazing Skylights = N/A

The values above are to show compliance and R value are the minimum allowed. The details in this project will show the true R values used are much higher than required

Colour Schedule "Salisbury"

"Matt Black"
Windows, Front Door
LRV 04% RGB 43 43 44

Cemintel Territory Panel
(Main Cladding)
"Savanna Cloud"
EPS241

"Black / Ebony"
Roof, Fasica, Gutter
Downpipes

The Brickery
Schist feature
"Black Autumn"

"Alicante"
(By Austral Bricks)
230 x 119 x 70mm
-Off white mortar
-Rolled joints

"Resene Half Black White"
Soffits
RGB 240 236 234
LVR 86

Prolam H5 Clear
Laminated Posts,
"Cabot's Deck & Exterior
Stain, New Rustic Oak"
Galv. steel brackets
painted black

Elevation Key

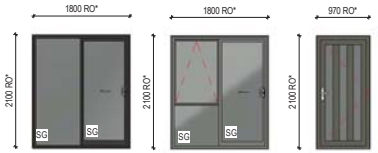
Key Value	Keynote Text
1	Selected colorsteel longrun roofing
2	Selected colorsteel fascia and gutter
3	Selected Cemintel panel run horizontal
4	Selected 70 series brick veneer cladding
5	Double glazed aluminium powdercoated window and door joinery with compression seals. Glazing to be 10/12/6 to meet (Noise requirement)
6	Laminated timber pergola frames. Free standing and painted with metal corner L brackets

Window Schedule

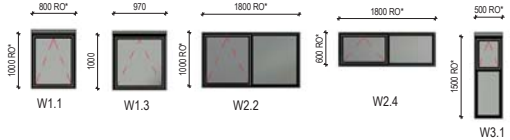
Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Count
W1.1	1030	830	1000	800	10
W1.3	1030	1000	1000	970	39
W2.2	1030	1830	1000	1800	40
W2.4	630	1830	600	1800	1
W3.1	1530	530	1500	500	34
Grand total: 124					124

Door Schedule

Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Count
D1	2110	990	2100	970	29
S1	2110	1820	2100	1800	7
S2	2110	1820	2100	1800	20
Grand total: 56					56



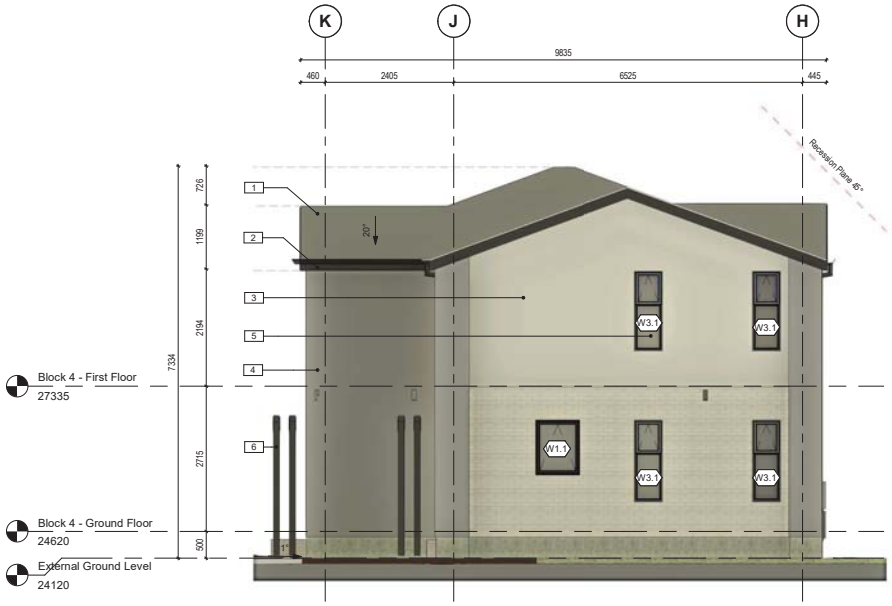
Door/Window Key Notes:
1. Viewed from outside
2. RO sizes take precedence over other sizes
3. Wet area glazing to be safety glass
4. SG = Saftey glazing
5. OB = Obsure glazing
6. Tint = Tinted glass
7. SS = Safety stays to all bathrooms and to all 1st & 2nd storey windows with opening closer to 760mm to FFL



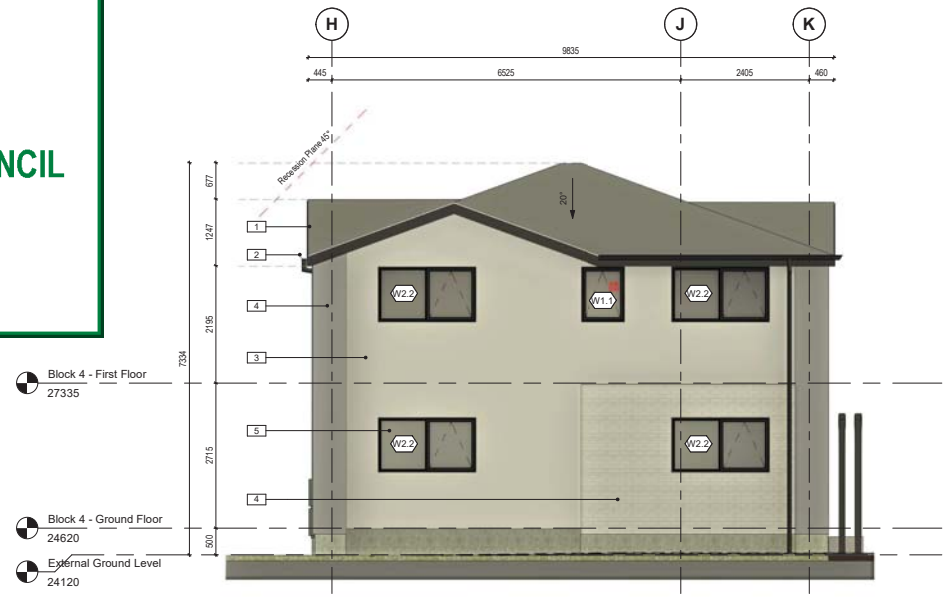
RESOURCE CONSENT

GRANTED
29/06/2021

HUTT CITY COUNCIL



1 Block 4 - North Elevation
1 : 50



2 Block 4 - South Elevation
1 : 50

Description	Rev	Date	Issued by

WILLIAMS CORPORATION

Revision	
Scale	A1 page size (Half scale @ A3)
Issue Date	03/02/21
Time Stamp	19/03/2021 11:27:39 am
Page Title	Elevations - Block 4
Project	3-4 Johnston Grove Residential
Address	3-4 Johnston Grove, Taita, Lower Hutt Wellington
Sheet	RC3.7

H1 Compliance

Schedule Method Units 1 to 6
Total Area of glazing walls (<30%) = 17.22% of total exterior walls
ESW Area of glazing walls (<30%) = 15.79% of ESW walls

Schedule Method used:
Minimum R Values from NZS4218 Table 1 Zone 3
a. Roof R3.3 = Use R3.6
b. Wall R2.0 = Use R2.4
c. Floor R1.3 = EXPOL Under floor R1.4
required where timber flooring is used
Glazing R0.26(vertical) = Double glazing required
Glazing Skylights = N/A

The values above are to show compliance and R value are the minimum allowed. The details in this project will show the true R values used are much higher than required

Colour Schedule "Salisbury"

"Matt Black"
Windows, Front Door
LRV 04% RGB 43 43 44

Cemintel Territory Panel
(Main Cladding)
"Savanna Cloud"
EPS241

"Black / Ebony"
Roof, Fascia, Gutter
Downpipes

The Brickery
Schist feature
"Black Autumn"

"Alicante"
(By Austral Bricks)
230 x 119 x 70mm
-Off white mortar
-Rolled joints

"Resene Half Black White"
Soffits
RGB 240 236 234
LVR 86

Prolam H5 Clear
Laminated Posts,
"Cabot's Deck & Exterior
Stain, New Rustic Oak"
Galv. steel brackets
painted black

Elevation Key

Key Value	Keynote Text
1	Selected 70 series brick veneer cladding
2	Selected Cemintel panel run horizontal
3	Double glazed aluminium powdercoated window and door joinery with compression seals. Glazing to be 10/12/6 to meet (Noise requirement)
4	Selected colourSteel longrun roofing
5	Selected colourSteel fascia and gutter
6	Laminated timber pergola frames. Free standing and painted with metal corner L brackets

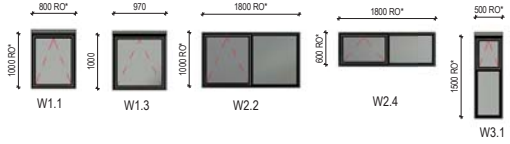
Window Schedule

Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Count
W1.1	1030	830	1000	800	10
W1.3	1030	1000	1000	970	39
W2.2	1030	1830	1000	1800	40
W2.4	630	1830	600	1800	1
W3.1	1530	530	1500	500	34
Grand total: 124					124

Door Schedule

Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Count
D1	2110	990	2100	970	29
S1	2110	1820	2100	1800	7
S2	2110	1820	2100	1800	20
Grand total: 56					56

Door/Window Key Notes:
1. Viewed from outside
2. RO sizes take precedence over other sizes
3. Wet area glazing to be safety glass
4. SG = Saftey glazing
5. OB = Obsure glazing
6. Tint = Tinted glass
7. SS = Safety stays to all bathrooms and to all 1st & 2nd storey windows with opening closer to 760mm to FFL



1 Block 4 - East Elevation
1 : 50

2 Block 4 - West Elevation
1 : 50

RESOURCE CONSENT

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29/06/2021

HUTT CITY COUNCIL

HUTT CITY
TE AWA KAIRANGI

- All work shall comply with the New Zealand Building Code and all relevant and associated standards, codes and territorial authority by-laws including terms and conditions of the building consent and any resource consents issued for project
- Architectural drawings are to be read in conjunction with the structural engineers drawings and vice versa.
- All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendations and specifications.
- All documentation must be read in full and completely understood before any works begin and any discrepancies or ambiguity shall be clarified with design LBP before any work commences
- The builder is responsible for the setting out of the works, the checking of all dimensions and levels on site, and the reporting of any discrepancies prior to commencement of work. Do not scale from these drawings.

Description	Rev	Date	Issued by

WILLIAMS CORPORATION

Revision		Page Title	Elevations - Block 4
Scale	A1 page size (Half scale @ A3)	Project	3-4 Johnston Grove Residential
Issue Date	03/02/21	Address	3-4 Johnston Grove, Taita, Lower Hutt Wellington
Time Stamp	19/03/2021 11:27:51 am	Sheet	RC3.8

H1 Compliance

Schedule Method Units 1 to 6
Total Area of glazing walls (<30%) = 17.22% of total exterior walls
ESW Area of glazing walls (<30%) = 15.79% of ESW walls

Schedule Method used:
Minimum R Values from NZS4218 Table 1 Zone 3
a. Roof R3.3 = Use R3.6
b. Wall R2.0 = Use R2.4
c. Floor R1.3 = EXPOL Under floor R1.4
required where timber flooring is used
Glazing R0.26(vertical) = Double glazing required
Glazing Skylights = N/A

The values above are to show compliance and R value are the minimum allowed. The details in this project will show the true R values used are much higher than required

Colour Schedule "Salisbury"

"Matt Black"
Windows, Front Door
LRV 04% RGB 43 43 44

Cemintel Territory Panel
(Main Cladding)
"Savanna Cloud"
EPS241

"Black / Ebony"
Roof, Fasica, Gutter
Downpipes

The Brickery
Schist feature
"Black Autumn"

"Alicante"
(By Austral Bricks)
230 x 119 x 70mm
-Off white mortar
-Rolled joints

"Resene Half Black White"
Soffits
RGB 240 236 234
LVR 86

Prolam H5 Clear
Laminated Posts,
"Cabot's Deck & Exterior
Stain, New Rustic Oak"
Galv. steel brackets
painted black

Elevation Key

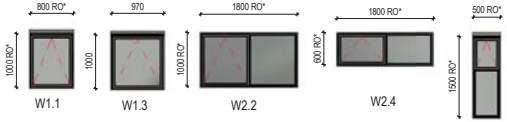
Key Value	Keynote Text
1	Selected Cemintel panel run horizontal
2	Selected 70 series brick veneer cladding
3	Selected colorsteel longrun roofing
4	Selected colorsteel fascia and gutter
5	Laminated timber pergola frames. Free standing and painted with metal corner L brackets
6	Double glazed aluminium powdercoated window and door joinery with compression seals. Glazing to be 10/12/6 to meet (Noise requirement)

Window Schedule

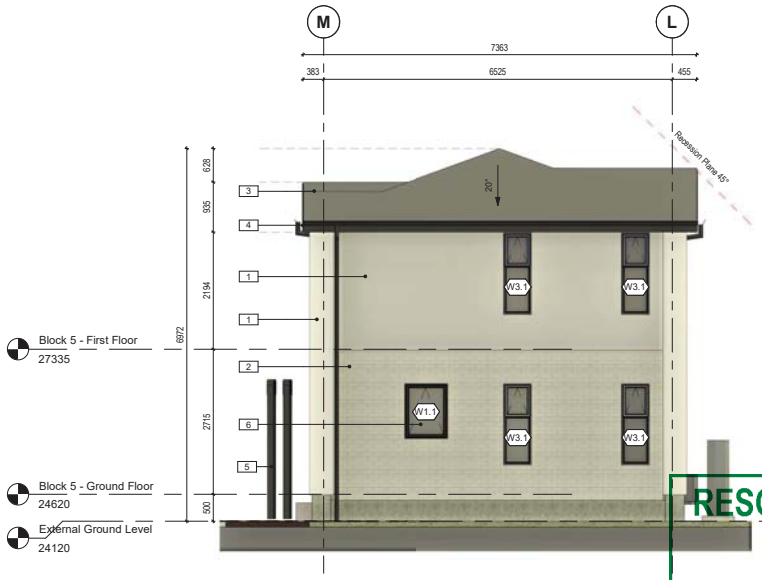
Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Count
W1.1	1030	830	1000	800	10
W1.3	1030	1000	1000	970	39
W2.2	1030	1830	1000	1800	40
W2.4	630	1830	600	1800	1
W3.1	1530	530	1500	500	34
Grand total: 124					124

Door Schedule

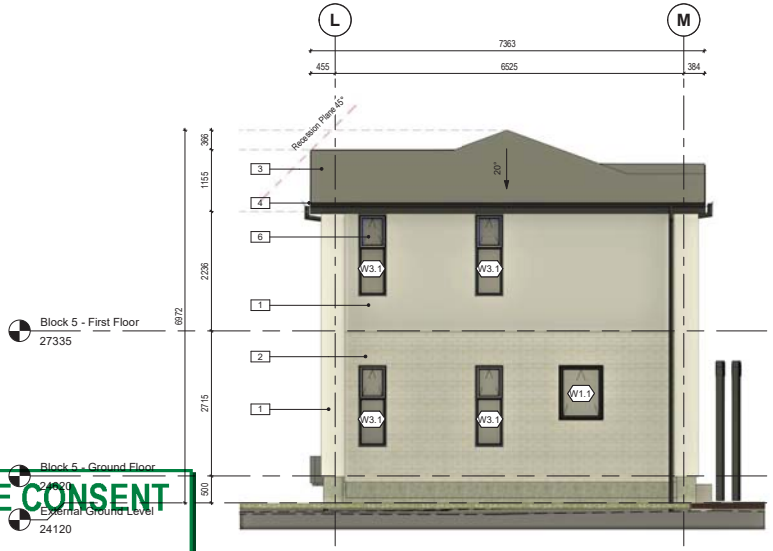
Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Count
D1	2110	990	2100	970	29
S1	2110	1820	2100	1800	7
S2	2110	1820	2100	1800	20
Grand total: 56					56



Door/Window Key Notes:
1. Viewed from outside
2. RO sizes take precedence over other sizes
3. Wet area glazing to be safety glass
4. SG = Saftey glazing
5. OB = Obsure glazing
6. Tint = Tinted glass
7. SS = Safety stays to all bathrooms and to all 1st & 2nd storey windows with opening closer to 760mm to FFL



1 **Block 5 - North Elevation**
1 : 50



2 **Block 5 - South Elevation**
1 : 50

RESOURCE CONSENT
GRANTED
29/06/2021
HUTT CITY COUNCIL

HUTT CITY TE AWA KAIRAKI

- All work shall comply with the New Zealand Building Code and all relevant and associated standards, codes and territorial authority by-laws including terms and conditions of the building consent and any resource consents issued for project
- Architectural drawings are to be read in conjunction with the structural engineers drawings and vice versa.
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- All documentation must be read in full and completely understood before any works begin and any discrepancies or ambiguity shall be clarified with design LBP before any work commences
- The builder is responsible for the setting out of the works, the checking of all dimensions and levels on site, and the reporting of any discrepancies prior to commencement of work. Do not scale from these drawings.

Description	Rev	Date	Issued by

WILLIAMS CORPORATION

Revision	
Scale	A1 page size (Half scale @ A3)
Issue Date	03/02/21
Time Stamp	19/03/2021 11:28:02 am
Page Title	Elevations - Block 5
Project	3-4 Johnston Grove Residential
Address	3-4 Johnston Grove, Taita, Lower Hutt Wellington
Sheet	RC3.9

H1 Compliance

Schedule Method Units 1 to 6
Total Area of glazing walls (<30%) = 17.22% of total exterior walls
ESW Area of glazing walls (<30%) = 15.79% of ESW walls

Schedule Method used:
Minimum R Values from NZS4218 Table 1 Zone 3
a. Roof R3.3 = Use R3.6
b. Wall R2.0 = Use R2.4
c. Floor R1.3 = EXPOL Under floor R1.4
required where timber flooring is used
Glazing R0.26(vertical) = Double glazing required
Glazing Skylights = N/A

The values above are to show compliance and R value are the minimum allowed. The details in this project will show the true R values used are much higher than required

Colour Schedule "Salisbury"

"Matt Black" Windows, Front Door LRV 04% RGB 43 43 44

Cemintel Territory Panel (Main Cladding) "Savanna Cloud" EPS241

"Black / Ebony" Roof, Fascia, Gutter Downpipes

The Brickery Schist feature "Black Autumn"

"Resene Half Black White" Soffits RGB 240 238 234 LVR 86

Prolam H4 Laminated Posts, "Cabot's Decking Exterior Stain, New Redwood" Galv. steel flashings painted black

RESOURCE CONSENT
GRANTED
29/06/2021
HUTT CITY COUNCIL

HUTT CITY TE AWA KAIRANGI

Elevation Key

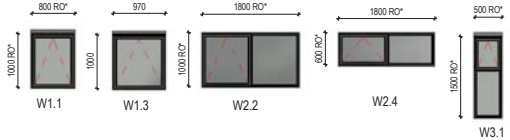
Key Value	Keynote Text
1	Selected Cemintel panel run horizontal
2	Selected 70 series brick veneer cladding
3	Laminated timber pergola frames. Free standing and painted with metal corner L brackets
4	Double glazed aluminium powdercoated window and door joinery with compression seals. Glazing to be 10/12/6 to meet (Noise requirement)
5	Selected colorsteel fascia and gutter
6	Selected colorsteel longrun roofing

Window Schedule

Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Count
W1.1	1030	830	1000	830	16
W1.3	1030	1000	1000	970	39
W2.2	1030	1830	1000	1800	40
W2.4	630	1830	600	1800	1
W3.1	1530	530	1500	500	34
Grand total: 124					124

Door Schedule

Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Count
D1	2110	990	2100	970	29
S1	2110	1820	2100	1800	7
S2	2110	1820	2100	1800	20
Grand total: 56					56



Door/Window Key Notes:
1. Viewed from outside
2. RO sizes take precedence over other sizes
3. Wet area glazing to be safety glass
4. SG = Saftey glazing
5. OB = Obsure glazing
6. Tint = Tinted glass
7. SS = Safety stays to all bathrooms and to all 1st & 2nd storey windows with opening closer to 760mm to FFL

1 Block 5 - East Elevation
1 : 50

2 Block 5 - West Elevation
1 : 50

Description	Rev	Date	Issued by

WILLIAMS CORPORATION

Revision	
Scale	A1 page size (Half scale @ A3)
Issue Date	03/02/21
Time Stamp	19/03/2021 11:28:18 am
Page Title	Elevations - Block 5
Project	3-4 Johnston Grove Residential
Address	3-4 Johnston Grove, Taita, Lower Hutt Wellington
Sheet	RC3.10