



COLSON STREET

HOLLARD GROVE

LOT 75
DP 19516
(No. 17, 18, 19 & 20 HOLLARD GROVE)

LOT 2
AREA: 987m²

LOT 1
AREA: 909m²

PROPOSED
APARTMENT
BLOCK F
FFL 15.400(U/S SLAB)

LOT 3
DP 34561
(No. 18, 20, 22, 24 & 26 COLSON STREET)

LOT 3
AREA: 2044m²

LOT 4
DP 34561
(No. 10, 12, 14 & 16 COLSON STREET)

LOT 82
DP 19516
(No. 11 HOLLARD GROVE)

LOT 80
DP 19516
(No. 8 COLSON STREET)

LOT 81
DP 19516
(No. 6 COLSON STREET)

RESOURCE CONSENT

GRANTED
20/02/2024

HUTT CITY COUNCIL

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ISSUED

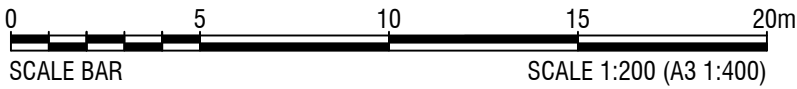
REVISION DETAILS		NAME	DATE
A	SS & SW TANK MOVED	DB	07/23
B	BOUNDARIES UPDATED AND YARD SUMP MOVED	JMF	07/23

NOTES:

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- ALL ELECTRONIC CAD DATA MUST BE READ IN CONJUNCTION WITH THESE NOTES.

LEGEND

- EXISTING BOUNDARY
- - - - - PROPOSED BOUNDARY
- - - - - BOUNDARY TO BE SURRENDERED



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PROPOSED SUBDIVISION OF
LOT 1 & 2 DP 34561 & LOT 32 DP 16950, 12 HOLLARD GROVE, AVALON

SCHEME PLAN - LEGAL BOUNDARIES

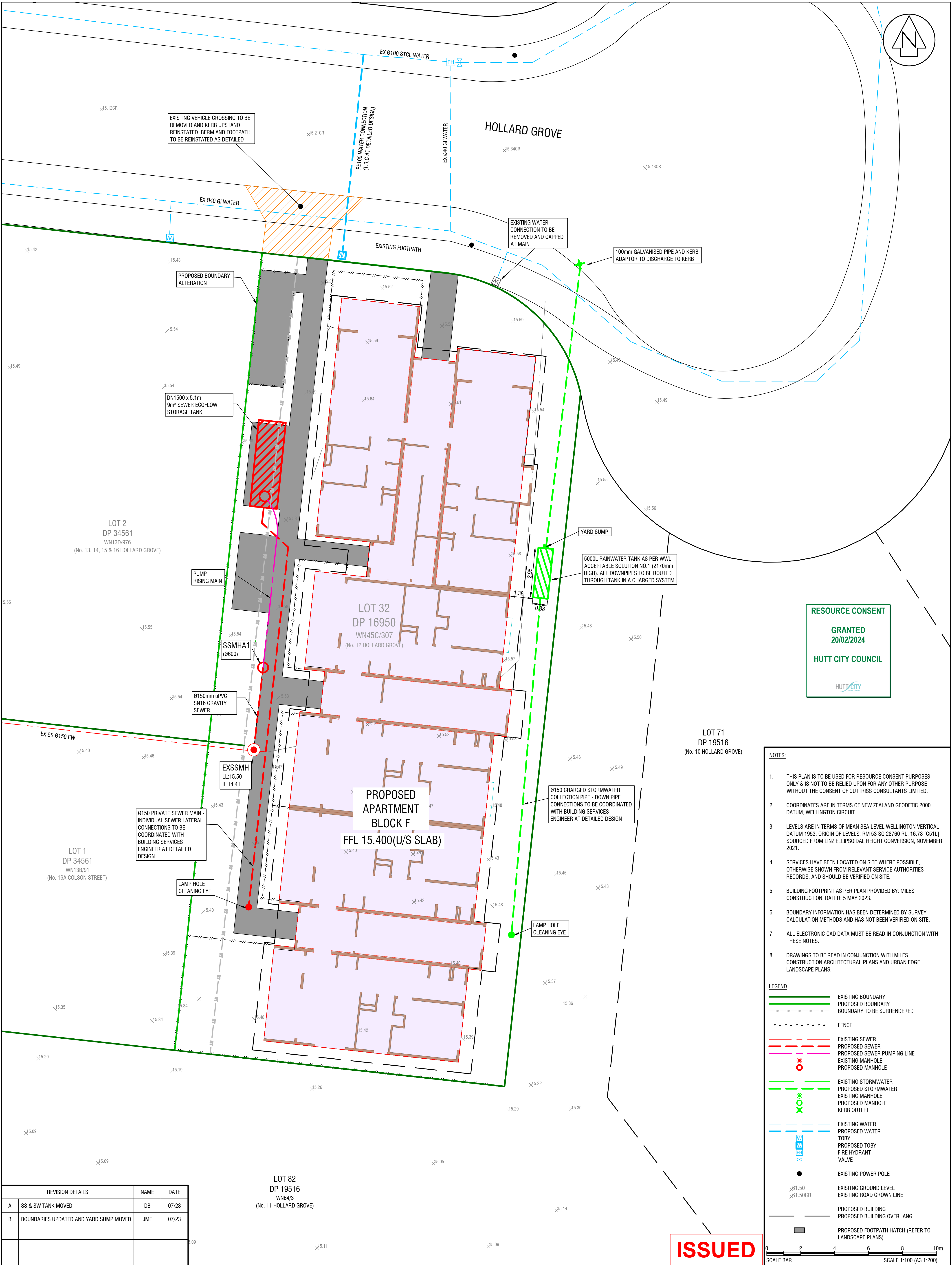
URBAN PLUS

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SCALE A1 1:200 REDUCED SCALE A3 1:400

DRAWING NUMBER 30158 SCH

FIELDWORK	-	DATE	-	SHEET 1 OF 2 SHEETS
DESIGNED	DB	03/23		
DRAWN	MM	03/23		
CHECKED	SG	07/23		
REVISION			B	



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LEGEND

- EXISTING BOUNDARY
- PROPOSED BOUNDARY
- BOUNDARY TO BE SURRENDERED
- FENCE
- EXISTING SEWER
- PROPOSED SEWER
- PROPOSED SEWER PUMPING LINE
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING STORMWATER
- PROPOSED STORMWATER
- EXISTING MANHOLE
- PROPOSED MANHOLE
- KERB OUTLET
- EXISTING WATER
- PROPOSED WATER
- TOBY
- PROPOSED TOBY
- FIRE HYDRANT
- VALVE
- EXISTING POWER POLE
- EXISTING GROUND LEVEL
- EXISTING ROAD CROWN LINE
- PROPOSED BUILDING
- PROPOSED BUILDING OVERHANG
- PROPOSED FOOTPATH HATCH (REFER TO LANDSCAPE PLANS)

SCALE BAR: 0 2 4 6 8 10m
SCALE 1:100 (A3 1:200)

ISSUED

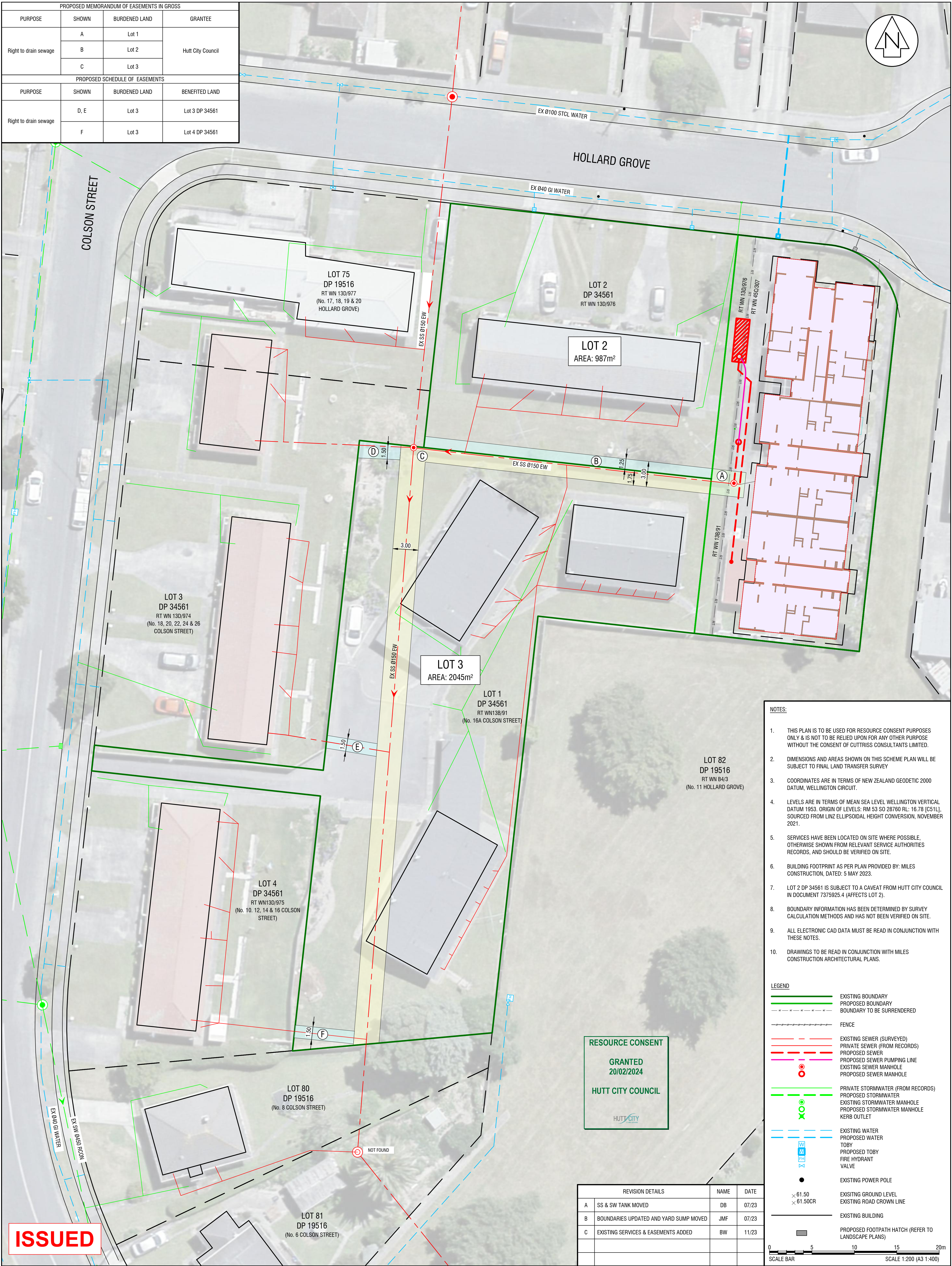
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PROJECT
**PROPOSED SUBDIVISION OF
LOT 1 & 2 DP 34561 & LOT 32 DP 16950, 12 HOLLARD GROVE, AVALON**
SCHEME PLAN-SERVICES LAYOUT

CLIENT
URBAN PLUS

SCALE			REDUCED SCALE		
A1 1:100			A3 - 1:200		
FIELDWORK	NAME	DATE	DRAWING NUMBER		
DESIGNED	DB	03/23	30158 SCH		
DRAWN	MM	03/23	SHEET	2	OF 2 SHEETS
CHECKED	SG	07/23	REVISION	B	



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 - LOT 2 DP 34561 IS SUBJECT TO A CAVEAT FROM HUTT CITY COUNCIL IN DOCUMENT 7375925.4 (AFFECTS LOT 2).
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LEGEND

	EXISTING BOUNDARY
	PROPOSED BOUNDARY
	BOUNDARY TO BE SURRENDERED
	FENCE
	EXISTING SEWER (SURVEYED)
	PRIVATE SEWER (FROM RECORDS)
	PROPOSED SEWER
	PROPOSED SEWER PUMPING LINE
	EXISTING SEWER MANHOLE
	PROPOSED SEWER MANHOLE
	PRIVATE STORMWATER (FROM RECORDS)
	PROPOSED STORMWATER
	EXISTING STORMWATER MANHOLE
	PROPOSED STORMWATER MANHOLE
	KERB OUTLET
	EXISTING WATER
	PROPOSED WATER
	TOBY
	PROPOSED TOBY
	FIRE HYDRANT
	VALVE
	EXISTING POWER POLE
	EXISTING GROUND LEVEL
	EXISTING ROAD CROWN LINE
	EXISTING BUILDING
	PROPOSED FOOTPATH HATCH (REFER TO LANDSCAPE PLANS)

0 5 10 15 20m
SCALE BAR SCALE 1:200 (A3 1:400)

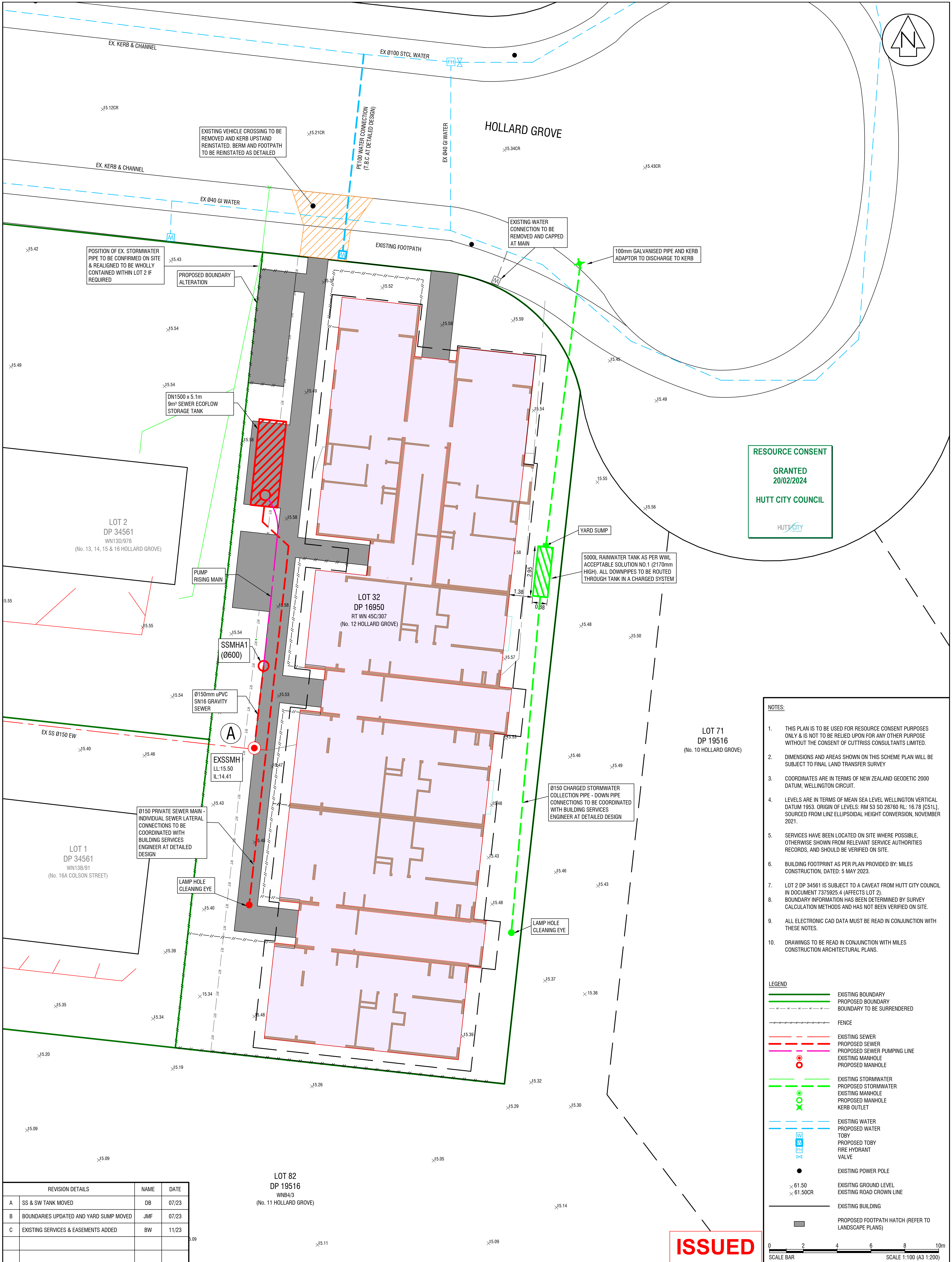
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C	EXISTING SERVICES & EASEMENTS ADDED	BW	11/23

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LOT 1 & 2 DP 34561 & LOT 32 DP 16950, 12 HOLLARD GROVE, AVALON**
SCHEME PLAN - LEGAL BOUNDARIES

CLIENT
URBAN PLUS

SCALE A1 1:200		REDUCED SCALE A3 1:400	
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REVISION		C	



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LEGEND

EXISTING BOUNDARY	PROPOSED BOUNDARY	BOUNDARY TO BE SURRENDERED	FENCE
EXISTING SEWER	PROPOSED SEWER	PROPOSED SEWER PUMPING LINE	EXISTING MANHOLE
EXISTING STORMWATER	PROPOSED STORMWATER	EXISTING MANHOLE	PROPOSED MANHOLE
EXISTING WATER	PROPOSED WATER	TOBY	PROPOSED TOBY
EXISTING POWER POLE	EXISTING GROUND LEVEL	EXISTING ROAD CROWN LINE	EXISTING BUILDING
EXISTING POWER POLE	EXISTING GROUND LEVEL	EXISTING ROAD CROWN LINE	PROPOSED FOOTPATH HATCH (REFER TO LANDSCAPE PLANS)

0 2 4 6 8 10m
SCALE BAR
SCALE 1:100 (A3 1:200)

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SCALE	A1 1:100	REDUCED SCALE	A3 - 1:200
FIELDWORK	-	DATE	-
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			REVISION C

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LANDSCAPE DESIGN

12 HOLLARD GROVE, AVALON, LOWER HUTT, 5011
PREPARED FOR URBAN PLUS LTD
DECEMBER 17 2023





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RM230246

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VISION STATEMENT

This landscape plan intends to integrate the proposed apartments comfortably within the site and surrounding neighbourhood and enhance the landscape at 12 Hollard Grove, Avalon.

The site is located in the suburb of Avalon, Lower Hutt, 750m from the Naenae Train Station and shops, and 350m from the nearest bus stops. The proximity of 12 Hollard Grove to the bus stop, train station and town centre makes it an ideal site for residential intensification.

The proposal includes the addition of 18, one-bedroom, apartments within a three-storey apartment block to a site with an existing standalone dwelling. The proposal includes the extension of the lot into the neighbouring property at 13 Hollard Grove and 16 Colson Street (also owned by the applicant) to allow for communal outdoor living, gathering and storage in addition to the private outdoor living decks and patios proposed to each unit.

The frontage to Hollard Grove will include three storeys of living area decks and patios and glazed sliding doors, as well as the main entrance. This will ensure a good connection to, and passive surveillance over, the street. Privacy from the street will be maintained with wide garden beds, that will also soften the street front at ground-level, and with portions of screening to the decks at upper-levels.

The landscaping of outdoor spaces has been planned from an early design stage and specifies planting to soften hard surfacing along fences and proposes private decks or patios for residents. The landscaping has been designed to connect the development with the street and provide clearly defined accessways to individual dwellings.

LANDSCAPE PLAN - GL



KEY

(F1) Fence 1 - 1.6m closeboard	(A) Surface A - Permeable concrete	Unit number	Grass lawn
(F2) Fence 2 - 1.4m slat	(B) Surface B - Loose Pavers	Signage	(1) Plant mix 1 - Narrow mix
(F3) Fence 3 - 1.8m slat	(C) Surface C - Permeable pavers 1	Letterbox	(2) Plant mix 2 - Shrub mix
(F4) Fence 4 - 1.8m closeboard	(D) Surface D - Timber deck	Sensor security light	(3) Plant mix 3 - Narrow hedge
(G1) Gate 1 - 1.2m closeboard	(E) Surface E - Reinforced gravel	Bollard light	Feature trees
(G2) Gate 2 - 1.4m slat	5000L Stormwater detention tank	Clothesline	Specimen trees
(G3) Gate 3 - 1.8m slat		Refuse bins	Narrow trees

Project Number: 22331
Drawing Name: Landscape Plan, GL
Sheet Number: L002

Client: Urban Plus Ltd
Project Name: 12 Hollard Grove
Designer: Eve McLachlan - Urban Edge Planning

Status: **For Comment**
Stage: Resource Consent
Issue Date: 17/12/2023

Scale: 1:150

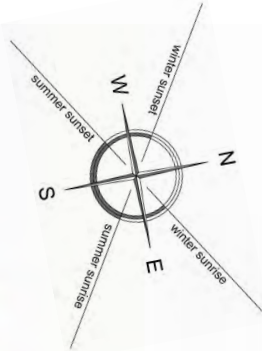
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LANDSCAPE PLAN - 1+2F

RM230246

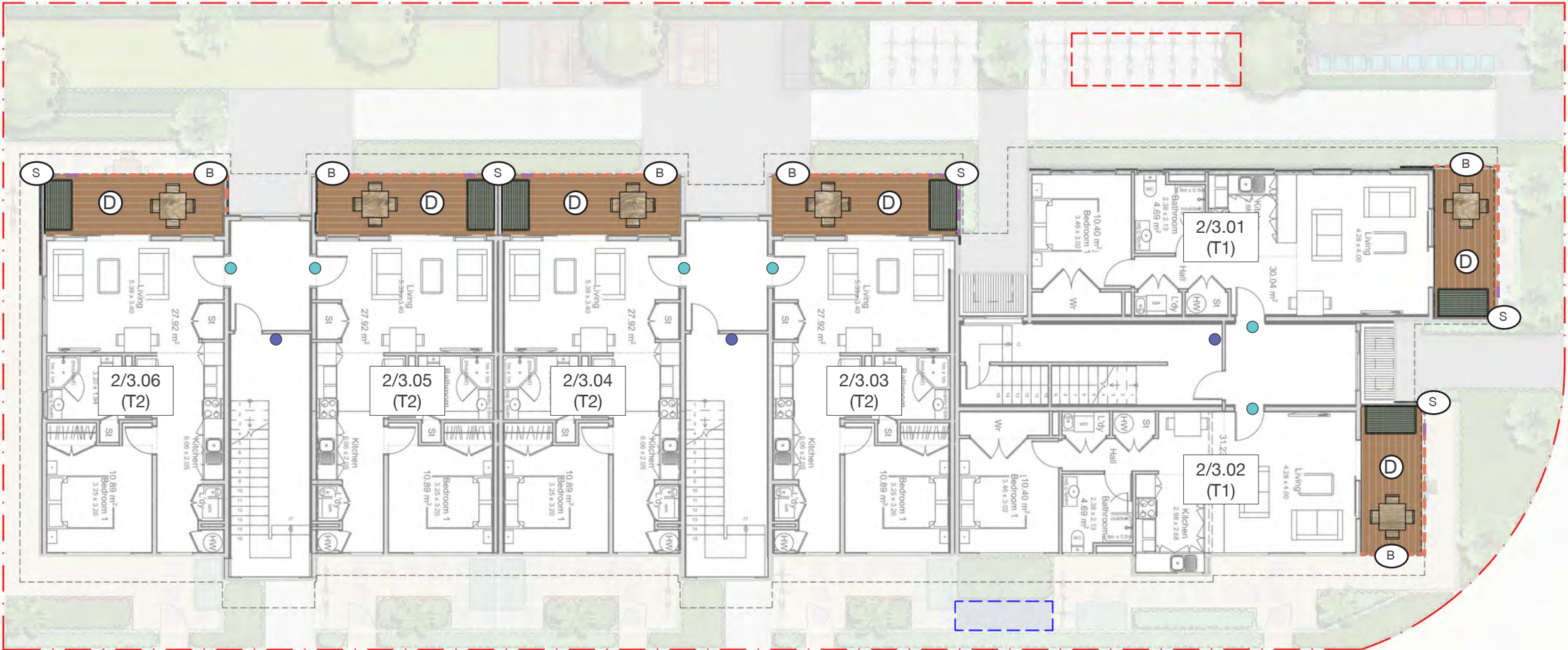


16C
Hollard
Grove

13
Hollard
Grove

HOLLARD GROVE

THE ZUZ OAKS PARK



THE ZUZ OAKS PARK PUBLIC ACCESS

KEY

- (B) Ballustrade, by architects (appx. 1.2m)
- (S) Screen, by architects (full height)
- Unit number
- Signage
- Clothesline
- (D) Surface D - Deck, by architects

10
Hollard
Grove

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Project Number: 22331
Drawing Name: Landscape Plan - 1+2F
Sheet Number: L003

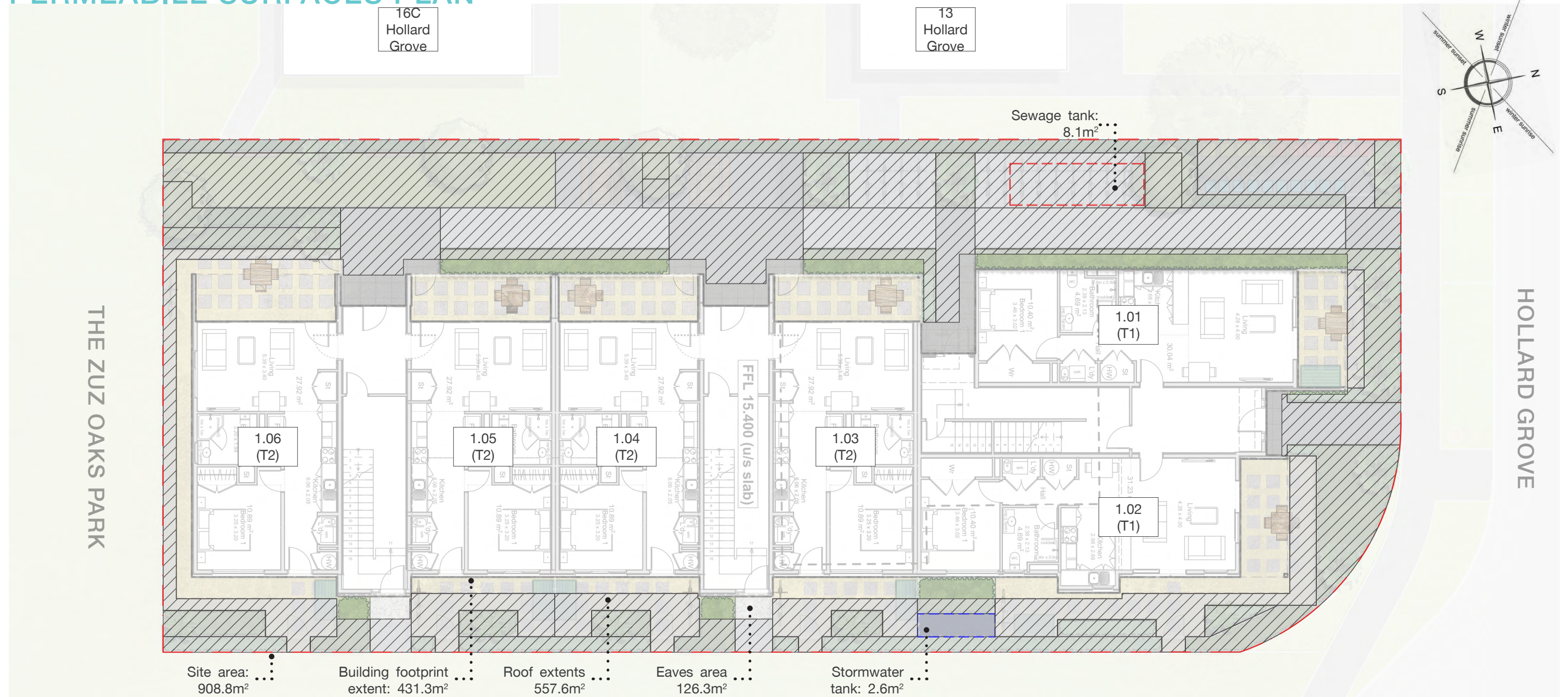
Client: Urban Plus Ltd
Project Name: 12 Hollard Grove
Designer: Eve McLachlan - Urban Edge Planning

Status: **For Comment**
Stage: Resource Consent
Issue Date: 17/12/2023

Scale: 1:150



PERMEABLE SURFACES PLAN



THE ZUZ OAKS PARK PUBLIC ACCESS

		Permeable surfaces
Site permeable surface areas (excludes surface below eaves)	348.6m ² of 908.8m ²	38%
Impermeable surface excluding roof extent	351.2m ² - 348.6m ²	4.6m ² impermeable
Impermeable surface including surface below eaves	477.5m ² - 472.9m ²	4.6m ² impermeable

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Project Number: 22331
Drawing Name: Permeable surfaces plan
Sheet Number: L004

Client: Urban Plus Ltd
Project Name: 12 Hollard Grove
Designer: Eve McLachlan - Urban Edge Planning

Status: **For Comment**
Stage: Resource Consent
Issue Date: 17/12/2023

Scale: 1:150



LANDSCAPED AREAS PLAN



KEY

Landscaped areas

19% 174.4m² of 908.8m²

THE ZUZ OAKS PARK PUBLIC ACCESS

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Project Number: 22331
Drawing Name: Landscaped areas plan
Sheet Number: L005

Client: Urban Plus Ltd
Project Name: 12 Hollard Grove
Designer: Eve McLachlan - Urban Edge Planning

Status: **For Comment**
Stage: Resource Consent
Issue Date: 17/12/2023

Scale: 1:150



View of the existing site from Hollard Grove. Existing boundary treatments to be removed and replaced as shown on the landscape plan. Vehicle crossing to be decommissioned. All existing structures, including dwelling, to be removed.



The western boundary to be removed and relocated as part of boundary adjustments.



The western boundary to be removed and relocated as part of boundary adjustments.



Existing southern and western fenceline to be removed and replaced. Southeastern t kuka to be retained if possible, or replaced with 'narrow tree' species if removal is required.



The Zuz Oaks public park, as viewed from the southern site boundary.



Southern and eastern site boundaries as viewed from the Zuz Oaks Reserve, boundary fence to be removed and replaced as shown on the landscape plan.

PLANTING PALETTE

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RM230246

NARROW MIX



Festuca coxii
blue grass



Fuchsia procumbens
creeping fuchsia



Libertia peregrinans
creeping iris



Phormium 'Pepe'
dwarf flax

SHRUB MIX



Anemanthele lessoniana
gossamer grass



Astelia chathamica
wharawhara



Chionochloa flavicans
dwarf toetoe



Lobelia angulata
pratia



Lomandra 'Lime Tuff'
green lomandra



Phormium cookianum 'Emerald Gem'
dwarf mountain flax



Pittosporum tenuifolium 'Little Kiwi'
dwarf pittosporum



Veronica elliptica
kokomuka

NARROW HEDGE



Corokia 'Geenty's Green'
green corokia



Myrtus ugni
Chilean guava



Pittosporum tenuifolium 'Wrinkle Blue'
blue pittosporum



Podocarpus totara 'Matapouri Blue'
blue totara

FEATURE TREES



Acer palmatum
Japanese maple



Plagianthus regius
manatu



Robinia pseudoacacia 'Umbraculifera'
lollipop tree

SPECIMEN TREES



Meryta sinclairii
puka



Pittosporum eugenioides
lemonwood



Sophora microphylla
kowhai

NARROW TREES



Cordyline australis
t k uka



Rhopalisida sapida 'Chathamica'
Chatham Island nikau palm

Project Number: 22331
Drawing Name: Planting Palette
Sheet Number: L007

Client: Urban Plus Ltd
Project Name: 12 Hollard Grove
Designer: Eve McLachlan - Urban Edge Planning

Status: **For Comment**
Stage: Resource Consent
Issue Date: 17/12/2023



PLANTING SCHEDULE

Botanical name	Common name	Mature height (m)	Spacing (m)	Grade (min L)	Notes
NARROW MIX					
<i>Festuca coxii</i>	blue grass	0.4	0.3	1.5	Fine, bright blue grass that grows in a weeping clumps, prefers sunny location.
<i>Fuchsia procumbens</i>	creeping fuchsia	0.2	0.5	2	Fast-growing groundcover with soft green leaves, red and yellow flowers in summer, prefers semi-shade beneath trees but tolerates full sun.
<i>Libertia peregrinans</i>	creeping iris	0.5	1.0	2	Striking orange foliage with small white flowers, good for narrow spaces, tolerant of full sun, partial shade, dry and moist.
<i>Phormium 'Pepe'</i>	dwarf flax	0.4	0.4	2	One of the most compact flaxes, narrow, green leaves, great for mass planting or small spaces, grows in sun and partial shade.
SHRUB MIX					
<i>Anemanthele lessoniana</i>	gossamer grass	1.0	1.0	2	Tussock-like grass with arching orange foliage and feathery flower heads, flows in the wind and tolerant of a range of conditions.
<i>Astelia chathamica</i>	wharawhara	1.0	1.0	2.5	Tufted, clump-forming native plant with drooping silvery leaves, pale green flowers and purple berries, epiphytic so well drained soil is essential.
<i>Chionochloa flavicans</i>	dwarf toetoe	1.0	1.0	2.5	Striking tussock with flowing green foliage and weeping flower heads over summer, prefers full sun, hardy to cold and exposure.
<i>Lobelia angulata</i>	pratia	0.1	0.1	2	Native groundcover with white flowers and red berries, thrives in damp, shady sites but tolerates sun.
<i>Lomandra 'Lime Tuff'</i>	green lomandra	0.6	0.5	2.5	Lush green foliage year-round, grows to a compact mound with white flowers in spring, full sun or part shade, needs little water when established.
<i>Phormium cookianum</i> 'Emerald Gem'	dwarf mountain flax	0.8	0.8	3	Compact, upright flax with narrow, emerald-green leaves, perfect for smaller gardens, grows in full sun and partial shade, hardy.
<i>Pittosporum tenuifolium</i> 'Little Kiwi'	dwarf pittosporum	0.6	0.7	2.5	Small, rounded, lime-green shrub, ideal for hedges, topiaries and borders, trim occasionally to maintain shape, tolerant of wind and frost.
<i>Veronica elliptica</i>	kokomuka	1.5	1.0	2.5	Bushy shrub with pairs of glossy, dark-green leaves and white flowers, hardy to a range of conditions including coastal.
NARROW HEDGE					<i>To be maintained and trimmed to stay within garden bed extent, maximum width of 1m.</i>
<i>Corokia</i> 'Geenty's Green'	green corokia	2.0	0.5	3.5	Light green leaves and yellow flowers make this dense shrub a popular choice for hedging, prefers full sun and a well-drained site.
<i>Myrtus ugni</i>	Chilean guava	1.5	0.3	3	Rounded, dark-green leaves form a dense bush with pink flowers followed by sweet, red fruit, trim to shape, prefers hardy, full sun, well-drained site.
<i>Pittosporum tenuifolium</i> 'Wrinkle Blue'	blue pittosporum	4.0	1.0	2.5	Cultivar with small, dense, silver-blue wrinkled leaves and tiny, red flowers, trim into upright hedge form, cold tolerant but prefers well-drained soils.
<i>Podocarpus totara</i> 'Matapouri Blue'	blue totara	6.0	1.0	3.5	Fine, blue-green foliage and small white flowers, use as a specimen tree or trim into hedge, does well in full sun, generally hardy.
FEATURE TREES					
<i>Acer palmatum</i>	Japanese maple	6.0	4.0	25	Iconic fan leaves turn from green in spring and summer to shades of red, orange and yellow in autumn, needs to be kept moist and sheltered.
<i>Plagianthus regius</i>	manatu	12.0	4.0	25	Wind resistant, spreading tree, semi-deciduous, attractive form.
<i>Robinia pseudoacacia</i> 'Umbraculifera'	lollipop tree	3.0	3.0	45	Small, deciduous tree with a head of lush, fine, green foliage in early spring, useful in small spaces such as courtyards, tolerant of frost, cool and dry.

Note: Planting schedule generated based on availability at date of issue; species and grades may vary depending on availability. Project landscape architect to approve any substitutes. Minimum of three shrub species per mix and one tree species per type from the above list to be used.

Project Number: 22331 Drawing Name: Planting Schedule Sheet Number: L008	Client: Urban Plus Ltd Project Name: 12 Hollard Grove Designer: Eve McLachlan - Urban Edge Planning	Status: For Comment Stage: Resource Consent Issue Date: 17/12/2023	
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20/02/2024

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PLANTING SCHEDULE

Botanical name	Common name	Mature height (m)	Spacing (m)	Grade (min L)	Notes
SPECIMEN TREES					
<i>Meryta sinclairii</i>	puka	8.0	4.0	25	Best used as a specimen tree, in the back of a large native planting border or to give a tropical look. It is both wind and salt tolerant.
<i>Pittosporum eugenioides</i>	lemonwood	12.0	3.0	25	Rounded tree with large, wavy, pale-green leaves that emit lemon fragrance when crushed, quick-growing hardy screening species.
<i>Sophora microphylla</i>	kowhai	8.0	4.0	25	Fine, fern-like, semi-deciduous foliage with yellow flowers from September to November, tolerant of cold and wind but needs a moist site.
NARROW TREES					
<i>Cordyline australis</i>	t k uka	10.0	2.0	25	Slender, multi-trunked tree with tufts of sharp, slender leaves and sweetly scented flowers, hardy except to the most extreme cold.
<i>Rhopalostylis sapida</i> ‘Chathamica’	Chatham Island nikau palm	9.0	2.0	25	Is the hardiest to frost and drought of the Nikau varieties and species. It is arguably the fastest growing variety as well.

Note: Planting schedule generated based on availability at date of issue; species and grades may vary depending on availability. Project landscape architect to approve any substitutes. Minimum of three shrub species per mix and one tree species per type from the above list to be used.

Project Number: 22331 Drawing Name: Planting Schedule Sheet Number: L009	Client: Urban Plus Ltd Project Name: 12 Hollard Grove Designer: Eve McLachlan - Urban Edge Planning	Status: For Comment Stage: Resource Consent Issue Date: 17/12/2023	<div>RESOURCE CONSENT</div> <div>GRANTED 20/02/2024</div> <div>HUTT CITY COUNCIL</div> <div></div> <div></div>
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BOUNDARY TREATMENT DETAILS

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F1 - Fence 1 - 1.2m closeboard. Timber fence, 1.2m height, 150mm palings with no gaps between.



F2 - Fence 2 - 1.4m slat. Timber fence, 1.4m height, 50mm battens with 50mm gaps between.



F3 - Fence 3 - 1.8m slat. Timber fence, 1.8m height, 50mm battens with 50mm gaps between.



F4 - Fence 4 - 1.8m closeboard. Timber fence, 1.8m height, 150mm palings with no gaps between.



G1 - Gate 1 - 1.2m closeboard, lockable gate.



G2 - Gate 2 - 1.4m slat, lockable gate to match fence.
G3 - Gate 3 - 1.8m slat lockable gate to match fence.

Project Number: 22331 Drawing Name: Boundary Treatment Details Sheet Number: L010	Client: Urban Plus Ltd Project Name: 12 Hollard Grove Designer: Eve McLachlan - Urban Edge Planning	Status: For Comment Stage: Resource Consent Issue Date: 17/12/2023	
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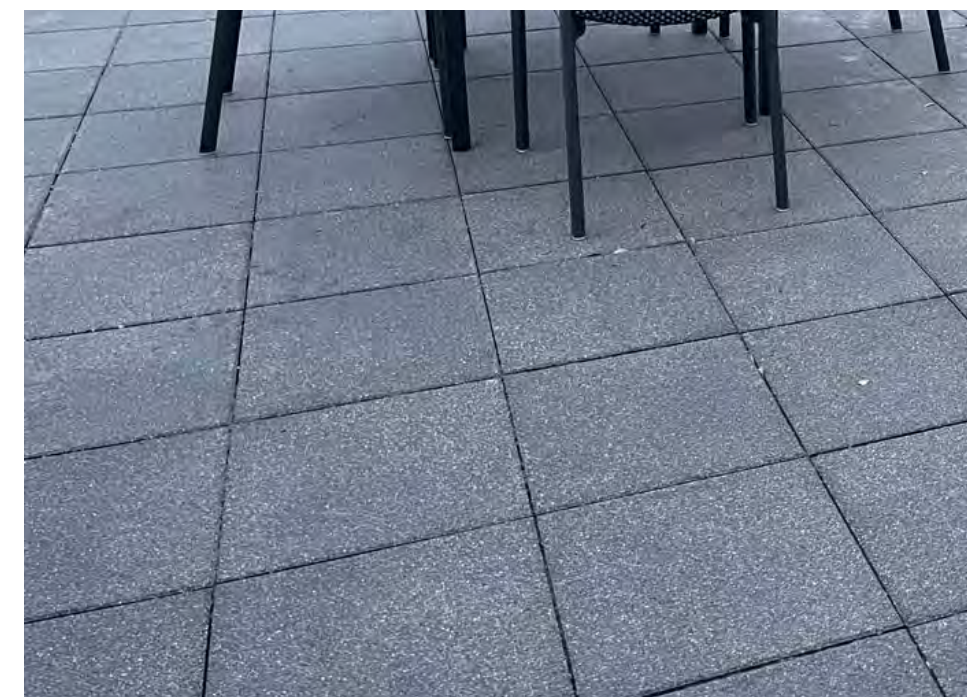
SURFACE TREATMENT DETAILS



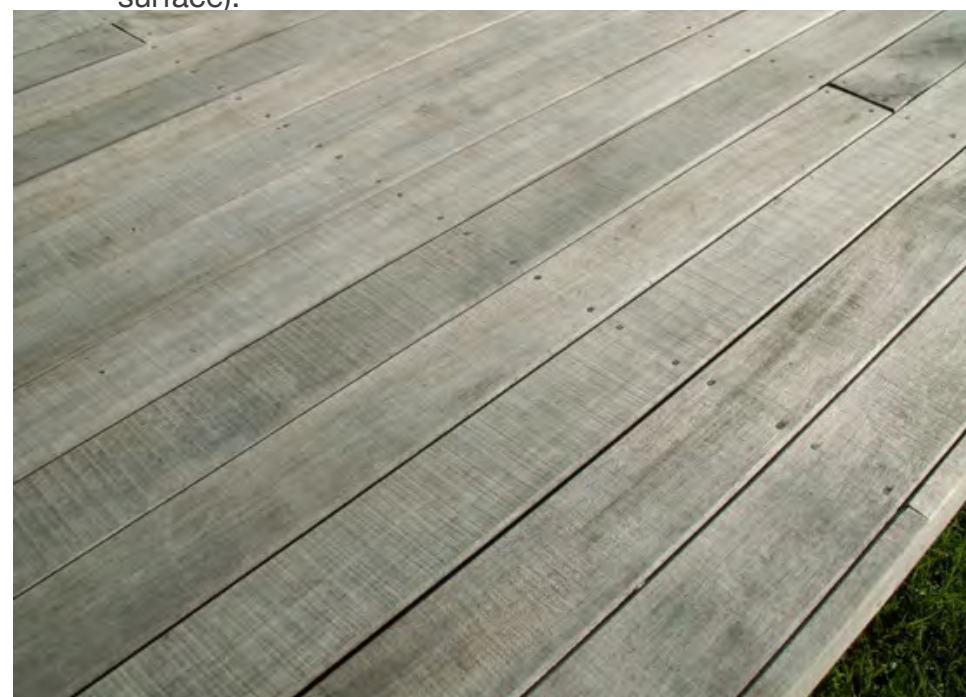
Ⓐ Surface A - Permeable concrete.
Firth perm-con. Saw cuts to be specified at detailed design stage. (Or similar approved permeable concrete surface).



Ⓑ Surface B - Loose Pavers.
Loose permeable pavers - see surface type C, set in either reinforced gravel or compacted lime chip - see surface type E so surfaces are flush.



Ⓒ Surface C - Permeable pavers.
Feature areas of permeable concrete, Waipave water pavers 400x400mm (Or similar approved permeable concrete surface). Colour: charcoal



Ⓓ Surface D - Timber deck. For upper level apartments, to architects' details.



Ⓔ Surface E - Reinforced gravel or compacted lime chip.
20mm river pebbles over subsurface stabilisation mat or compacted lime chip.

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Project Number: 22331
Drawing Name: Surface Treatment Details
Sheet Number: L011

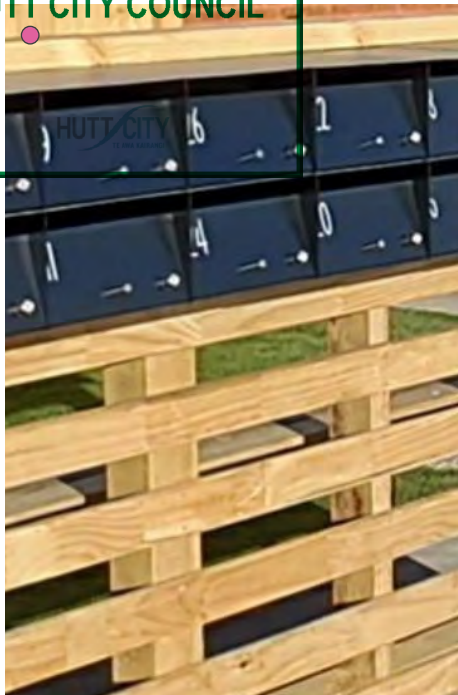
Client: Urban Plus Ltd
Project Name: 12 Hollard Grove
Designer: Eve McLachlan - Urban Edge Planning

Status: **For Comment**
Stage: Resource Consent
Issue Date: 17/12/2023

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ITEM DETAILS

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- Unit number - Large numerals affixed to the front door of each unit.
- Letterbox - Fence mounted letterboxes attached to free-standing structure in groups, three boxes high.

- Signage - wall mounted singage with arrows showing access to units.
Indicative site map, to front main entrance. One location only as shown on plan.

- Sensor security light - Waterproof LED motion sensor security light.
- Bollard light - Waterproof LED bollard light. for safety and assisted wayfinding at night.



- Clothesline - Fence-mounted, fold-down clothesline. Swiftdry skyline S10 Fold down Clothesline. 750mm x 1600mm, Colour: Black (Or similar approved fold-down clothesline)

- Picnic tables - Urban effects, Woodlands Classic
- Bench seats - Urban effects, Woodlands Classic
- Or similar approved fixed furnishings.

- Communal BBQ - Urban effects, Urban Double Gas BBQ. (Or similar approved community BBQ.)

Project Number: 22331
Drawing Name: Item Details
Sheet Number: L012

Client: Urban Plus Ltd
Project Name: 12 Hollard Grove
Designer: Eve McLachlan - Urban Edge Planning

Status: **For Comment**
Stage: Resource Consent
Issue Date: 17/12/2023

LANDSCAPING SPECIFICATION

GENERAL:

- Planting operations shall be carried out between April and August.
- Plant all vegetation as soon as practicably possible from the date of delivery (no later than 3 days after delivery) and ensure the rootball is kept moist.
- Ensure the site is cleared of all debris and construction is complete before planting proceeds.
- Confirm the location of any buried services and cabling prior to digging and maintain the required cover over these services
- On completion clean the area of works; remove all surplus soil, unused materials and plants from the site.
- Ensure all vegetation provided is free from pests and diseases, is true to name as specified on the landscape plans and are minimum PB5 for shrubs and minimum PB40 for specimen trees.
- Plants must be grown under soil and climatic conditions that are not substantially different from that of the site
- All plants that are root bound or those with spiraled root systems must be rejected and replaced.
- All good quality native vegetation to be retained or relocated where possible, confirm with landscape architect on site.
- All proposed finished landscaping levels to conform to NZS 3604, Section 6.14; *Prevention of dampness*, and Section 7.5.2; *Finished floor levels and foundation edge construction*, in relation to any adjoining habitable floor levels.
- All proposed native plants to be ecosourced to the local ecological district where possible.
- Species range may alter based on availability and site constraints, at landscape architect’s discretion.

PREPARING THE SITE:

- Replace substandard soil with 200mm layer of plant mix, place in 100mm layers, lightly compacted by heeling or rolling. The soil should be slightly mounded in the centre of the bed.
- Manually clear the site of all weeds, debris, grass and vegetation before commencing planting, with exception to any areas that will be retained with existing vegetation, as per the landscape plans.

LAYOUT AND SITING:

- Position plants in the correct positions with the correct spacing as specified in the planting schedule and/or the landscape plans. Confirm layout and spacing with landscape architect or site engineer prior to commencing planting.
- Avoid undue compaction of soil in the planting areas by other plant on site and recultivate any heavily compacted areas prior to planting.
- If any buried services or concrete footing are discovered while planting that restrict the accurate placement of plants, notify the site engineer for further instruction.

PLANTING:

- Use 300mm (minimum 150mm) depth topsoil, that is free of any foreign matter including pernicious weeds, straw, stones, sticks and clay lumps; solid matter should not exceed 25mm dimension. Ph value 6.5 to 7.5 with a humus content greater than 50%. The topsoil should be a good quality loam of a workable consistency
- The plant mix should contain a thoroughly mixed medium of 60% compost, and 40% bark, pumice and fertilizer by volume.
- Use slow release, non-burning, complete NPK (nitrogen, phosphorus, potassium) ratio 5:5:5:4.1, with added micronutrients including iron, sulfur and magnesium. Add gypsum, blood and bone and potash where required dependent on soil composition and/or plant type.
- Excavate planting holes to twice the diameter and one and a half times the depth of the rootball. Backfill with minimum 400mm Living Earth garden mix or equal approved in evenly consolidated 150mm layers (not compacted) Where depth exceeds the depth of the topsoil, continue down to subsoil up to 150mm; breaking it up and adding in peat.
- Scarify the sides of the holes, especially when digging into clay soils.
- Provide adequate drainage beneath planting, if existing soils are not adequately pervious include 65mm diameter Novacoil to 1.0m length.
- Place plant mix to support the rootball, ensuring the rootball is fully covered in soil, and the base of the plant sits flush with the surrounding ground level. Place the plant so that the healthiest side is facing the prevailing wind.
- Use rod or fingers to evenly firm without compaction to a level that will allow the plant to sit flush with the surrounding ground level, and firm each plant in place by heeling.

LAWN:

- Turf - Thoroughly cultivate the area to be turfed to a depth of 100-150mm and roughly level. Consolidate by heeling and rake to required levels, finishing 12mm below kerbs and paths. Add re-plant, slow release, non-burning, complete NPK (nitrogen/phosphorus/potassium) - ratio of 20:11:10 with added micro-nutrients iron, sulfur and magnesium fertiliser, raking it in to the top 30-50mm and bring it to a smooth. Level surface and leave to settle for a day and moisten if dry. Use blended local and imported lawn grasses in selected netted topsoil, to finish as a deep, green, weed-free, uniform, close density lawn turf in 1.0m2 rolls. Place turf mats across the slope in straight lines, tightly butted, with joints staggered, and to correct levels. Cut around trees, buildings and borders with a sharp knife. Lightly roll and deep water immediately after laying. Deep water late every day for 3 weeks and continue weekly until the end of the contract.

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the required cover over these services

RM230246

- Sowing grass - Replace unsatisfactory soil with 150mm layer of topsoil. Rotary hoe in two directions to a depth of 150mm. Rake to a fine tilth, level and smooth with run-off to drainage outlets. Spread pre-plant, slow release, non-burning, complete NPK (nitrogen/phosphorus/potassium) - ratio of 20:11:10 with added micro-nutrients iron, sulfur and magnesium fertiliser at the required rate for lawn. Use a certified mixture of grass seed to suit local site conditions, with a high germination rate, fungicide and bird-repellent treated. Proposed mixture and area of use to be approved by landscape architect on site. Spread grass seed at half the required rate in two directions at right angles, using a pre-approved spreader. Lightly rake in and roll. Water deeply and keep moist without any run-off of water until germination is complete. Continue watering as necessary until the end of the contract. Remove any weeds that establish within the lawn throughout the germination process. First cut only when growth is a minimum of 100mm and only down to 50mm.

AFTER CARE:

- Water in immediately after planting, to saturation level in surrounding soil and thoroughly wet all foliage.
- Apply 100mm (min. 75mm consolidated) depth Living Earth mulch or equal approved. Ensure mulch kept back from trunk to avoid collar rot. Mulch should be course grade, granulated bark with a particle size up to 50mm with no more than 25 percent smaller than 6mm. Mulch to be free from disease, dust, wood slivers and other foreign matter. Alternatively, use a biodegradable weed suppressing mat or woven construction stabilised polypropylene fabric, specifically where slopes exceed 1:3.
- Stake all specimen trees and fruit trees with two 2400mm long x 90mm H4 unilog timber stakes driven into firm ground, stakes to be vertical and of matching height. Allow three stakes for large trees or in heavily exposed conditions. Locate the stakes so that they support the tree in windy weather conditions. Tie the stakes with 50mm hessian webbing firmly fixed with galvanised staples to stakes at 2/3 the height of the main trunk.
- On completion ensure that any drainage material is undisturbed and all buried services are undamaged.

MAINTENANCE:

- Owner of the property is to ensure that landscaping areas are maintained in a manner and duration that complies with Council requirements.
- Maintenance includes any operations necessary to assure good plant growth and attain a tidy, weed-free appearance, including, but not limited to, regular watering as necessary, weeding, cultivating, pruning, control of fungal and other diseases, repair broken stakes and ties.
- Replacement planting of any dead, dying, unhealthy or vandalised plants. Replacement planting shall be (preferably within April to August) of the same species and grades as the original schedule.

DISCLAIMERS:

Drawings and specifications have been prepared on the understanding that the building contractor(s) has sound knowledge and experience for the scope of works. Workmanship and materials should be in accordance with the relevant and most up to date codes, techniques and supplier requirements.

- These plans are to be read in conjunction with the architectural, lighting, civil, infrastructure, resource consent and subdivision drawings.
- This landscape plan is indicative for resource consent landscaping elements to be confirmed and detailed prior to construction.
- Do not scale off drawings, refer to figured dimensions only.
- All hardscape elements to be detailed further in the building consent phase.
- Floor plans and site plans, including vehicle tracking curves and site drainage are sourced from the architect/surveyor, so no liability is taken for the accuracy of this.
- Any significant differing existing site features found on site that could affect the landscape design must be notified to the landscape architect before construction commences.
- Ensure all gardens are 225mm min below finished floor level.
- Ensure permanent paving is 175mm below finished floor level.
- Myrtle rust: Contractor to follow protocols and precautions of NZ Plant Producers Inc. (NZPPI) for plants in the Myrtle family (family Myrtaceae). Immediately report any suspected myrtle rust to the property owner and Ministry for Primary Industries (MPI).
- All walls/fences being used as retaining structures to be specified by an engineer. Refer to the building consent set for further information on loading, structure and finished wall heights.
- Services include refuse and washing area to be screened from public view.
- Retain all quality existing planting where possible (unless designated a pest species) and replant good specimens elsewhere on site if viable.

Project Number: 22331 Drawing Name: Landscaping Specification Sheet Number: L013	Client: Urban Plus Ltd Project Name: 12 Hollard Grove Designer: Eve McLachlan - Urban Edge Planning	Status: For Comment Stage: Resource Consent Issue Date: 17/12/2023	
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PROPOSED NEW APARTMENTS
FOR
URBAN PLUS
BY



Sheet Index FWD			
Layout ID	Rev A	Layout Name	Subset & Name
A000	19/09/2023	Sheet Index	0 Index
A101	19/09/2023	Proposed - Bulk & Location Plan	1 Site & Floor Proposed
A102	19/09/2023	Proposed - Masterplan B&L & Earthworks	1 Site & Floor Proposed
A103	19/09/2023	Proposed - Floor Plans	1 Site & Floor Proposed
A104	19/09/2023	Proposed - Typical Floor Plans	1 Site & Floor Proposed
A105	19/09/2023	Proposed - Recession Planes	1 Site & Floor Proposed
A201	19/09/2023	Baseline - Bulk & Location Plan	2 Site & Floor Baseline
A202	19/09/2023	Baseline - Proposed Floor Plans	2 Site & Floor Baseline
A203	19/09/2023	Baseline - Typical Floor Plans	2 Site & Floor Baseline
A204	19/09/2023	Baseline - Recession Planes	2 Site & Floor Baseline
A301	19/09/2023	Proposed - Sun Study Dec 22	3 Sun Studies Proposed
A302	19/09/2023	Proposed - Sun Study Mar / Sep 22	3 Sun Studies Proposed
A303	19/09/2023	Proposed - Sun Study Jun 22	3 Sun Studies Proposed
A401	19/09/2023	Baseline - Sun Study Dec 22	4 Sun Studies Baseline
A402	19/09/2023	Baseline - Sun Study Mar / Sep 22	4 Sun Studies Baseline
A403	19/09/2023	Baseline - Sun Study Jun 22	4 Sun Studies Baseline
A501	19/09/2023	Proposed - Elevations - North & East	5 Elevations Proposed
A502	19/09/2023	Proposed - Elevations - South & West	5 Elevations Proposed
A503	19/09/2023	Proposed - Renders	5 Elevations Proposed
A601	19/09/2023	Baseline - Elevations - North & South	6 Elevations Baseline
A602	19/09/2023	Baseline - Elevations - East	6 Elevations Baseline
A603	19/09/2023	Baseline - Elevations - West	6 Elevations Baseline



Artist impression only.
Colours and materials indicative only.
Planting suggestive.

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SITE NOTES:

Legal Description: Lot: 32
DP: 16950
Territorial Authority: Hutt City Council
Planning Zone: General Residential

Wind Zone: Very High
Earthquake Zone: 2
Snow zone: N1
Climate zone: Zone 3
Corrosion Zone: Zone C

Min FFL: 15.400 (u/s slab)

LLUR - HAIL Required: TBC
Issues requiring RC: Yes

Site Area: 809.82m²
Existing Floor Area: 162.98m²

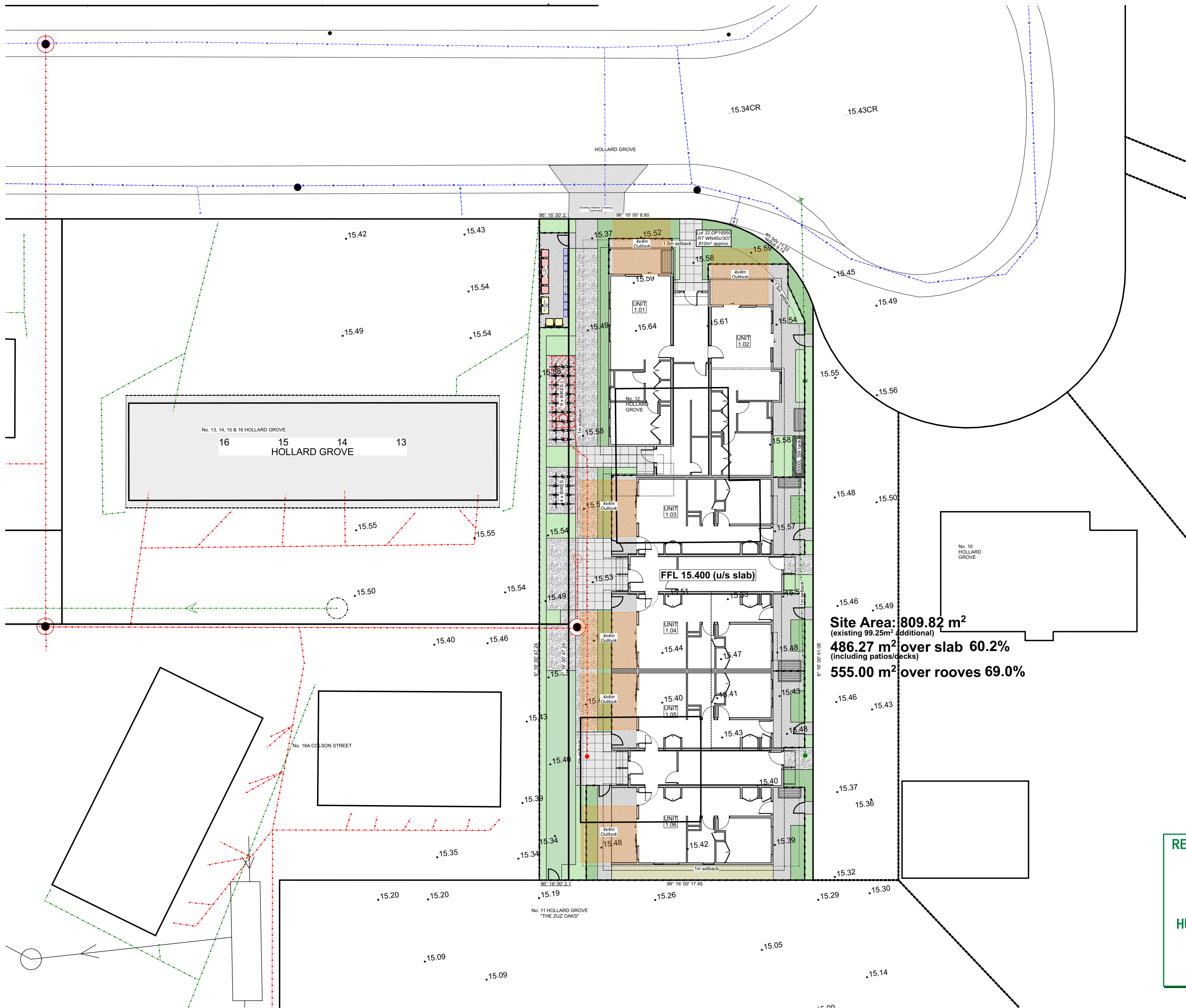
Total Floor Area: 1282.59m²
(excluding decks)

Ground Floor: 430.81m²
First Floor: 425.89m²
Second Floor: 425.89m²

Site Coverage: over slab 60.2% over roof 69.0%

Notes:

Boundary Dimensions and bearings subject to confirmation.
Subject to council flood management regulations and rules at time of consent.



Site Area: 809.82 m²
(existing 99.25m² additional)

486.27 m² over slab 60.2%
(including patios/decks)

555.00 m² over roofs 69.0%

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CONSENT STAMPS:

PROJECT:

PROPOSED APARTMENTS
AT 12 HOLLARD GROVE,
AVALON, LOWER HUTT
FOR URBAN PLUS

Resource Consent

REV. LOG COMMENT

DATE: 19/09/2023

REVISIONS

Geotech #

STRUCTURAL ENGINEERING:
Struct. Eng. #

FIRE CONSULTANT:
Fire Engineer #

ACOUSTIC ENGINEERING:
Acoustic Engineer #

CIVIL ENGINEERING:
Civil Engineer #

SERVICES:
--

DRAWN:
Giselle, B

VERSION:
Version 1

SHEET TITLE:
Proposed - Bulk & Location
Plan

ISSUE DATE:
19/09/2023

SCALE(S): (AT SHEET SIZE A3)
1:200

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SHEET:

A101

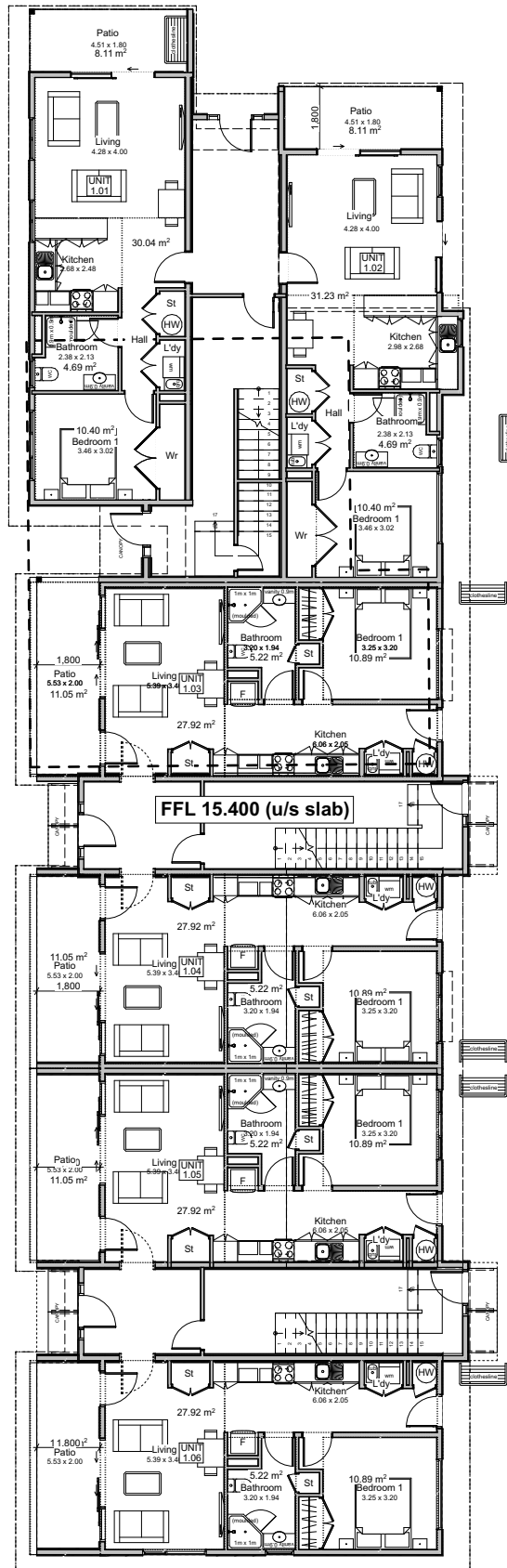
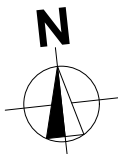
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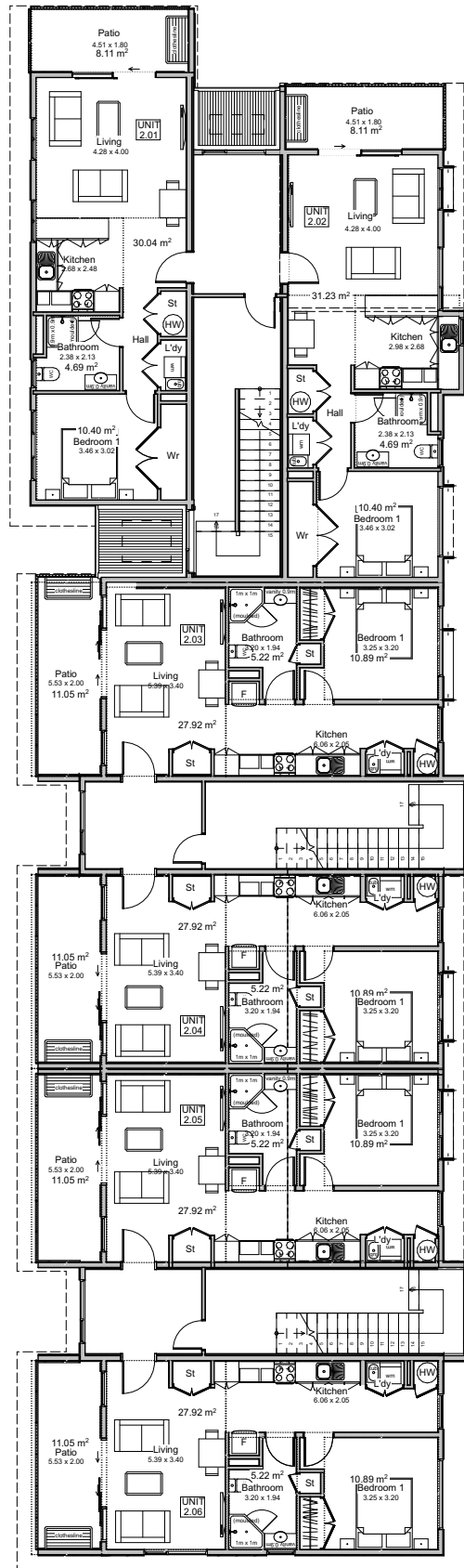
STATUS:

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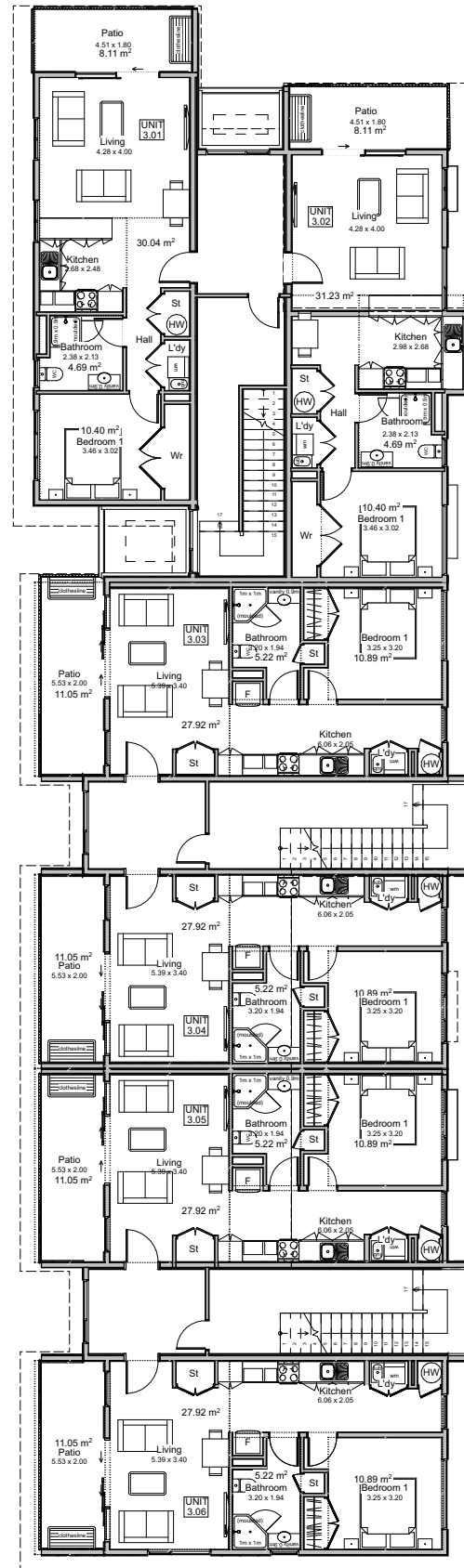
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1 Ground Floor Plan 1:200 2



First Floor Plan 1:200 3



Second Floor Plan 1:200

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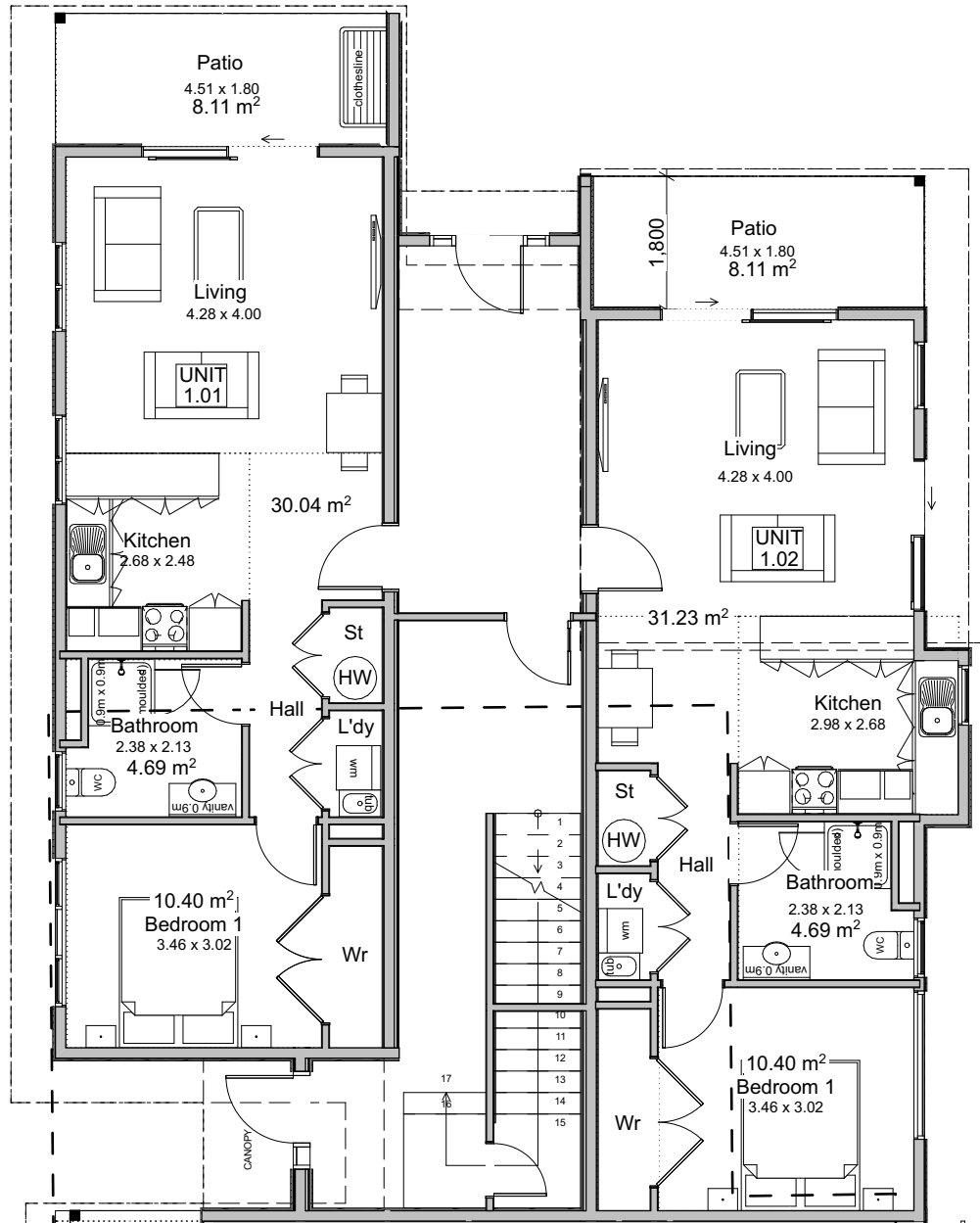
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 <div><div>Christchurch Office 03 374 8000</div><div>Auckland Office 09 377 3017</div><div>www.milesconstruction.co.nz</div></div>	<div>PROJECT:</div> <div>PROPOSED APARTMENTS AT 12 HOLLARD GROVE, AVALON, LOWER HUTT FOR URBAN PLUS</div>	<div>IMPORTANT!</div> <div>Technical queries, changes or substitutions must be discussed with the signing Licensed Building Practitioner (Design) before order, fabrication, placement or fixing to the works on site.</div> <div>Do not scale from this drawing. Contractors shall check all dimensions or indicated positions relevant to their works on site prior to, and throughout, the project works. If in doubt, discuss with the Site Manager.</div>	<div>A Resource Consent</div> <div>REV: COMMENT:</div> <div>GEO-TECHNICAL CONSULTANT: Geotech #</div>	<div>19/09/2023</div> <div>DATE:</div> <div>STRUCTURAL ENGINEERING: Struct. Eng. #</div>	SHEET TITLE:		SHEET: <div>A103</div>		
					Proposed - Floor Plans			REVISION: <div>A</div>	
					ISSUE DATE: 19/09/2023	SCALE(S): (AT SHEET SIZE A3) 1:200			STATUS: RESOURCE CONSENT
		DRAWN: Giselle. B		VERSION: Version 1					

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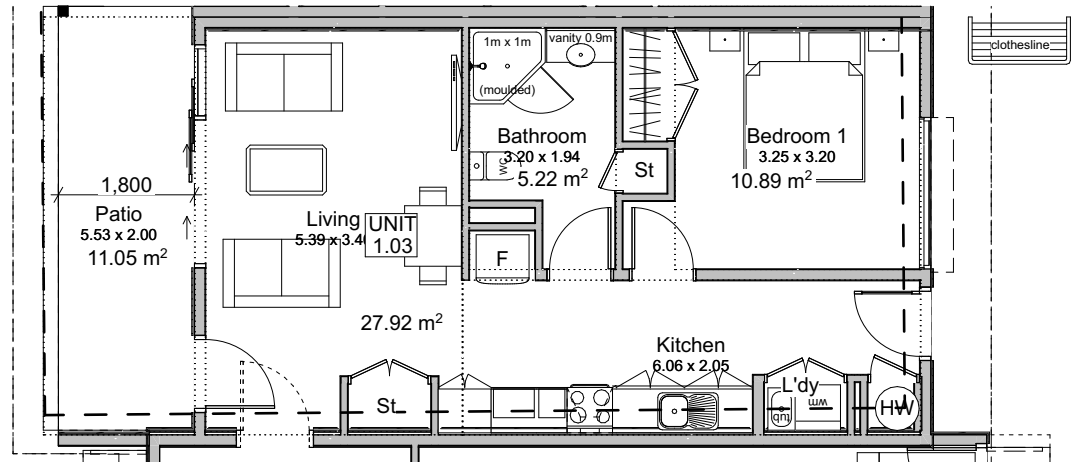
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1 Typical Floor Plan - Type 1 & 1a 1:100



2 Typical Floor Plan - Type 2 1:100

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PROJECT:

PROPOSED APARTMENTS
AT 12 HOLLARD GROVE, AVALON,
LOWER HUTT
FOR URBAN PLUS

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A	Resource Consent	19/09/2023
REV:	COMMENT:	DATE:
GEO-TECHNICAL CONSULTANT:	STRUCTURAL ENGINEERING:	
Geotech #	Struct. Eng. #	

SHEET TITLE: Proposed - Typical Floor Plans		REVISION:
ISSUE DATE: 19/09/2023	SCALE(S): (AT SHEET SIZE A3) 1:100	A104 A
DRAWN: Giselle. B	VERSION: Version 1	
		STATUS: RESOURCE CONSENT


NOTES:
Boundaries tbc.
Recession planes indicative only - refer to elevations.



PC56: 8m + 60° along the first 21.5m of the side boundary as measured from the road frontage & 4m + 60° along all other boundaries (excluding road boundary)

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AT 12 HOLLARD GROVE, AVALON,
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A Resource Consent		19/09/2023	
REV: COMMENT:		DATE:	
GEO-TECHNICAL CONSULTANT: Geotech #		STRUCTURAL ENGINEERING: Struct. Eng. #	

SHEET TITLE: Proposed - Recession Planes		SHEET: HUTT CITY A105	
ISSUE DATE: 19/09/2023		REVISION: A	
SCALE(S): (AT SHEET SIZE A3)		STATUS: RESOURCE CONSENT	
DRAWN: Giselle. B		VERSION: Version 1	

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UNIT	GLAZING	GLAZING	GLAZING	UNIT #
3.02	5.28m ²		5.28m ²	3.01
2.02	5.28m ²		5.28m ²	2.01
1.02	5.28m ²	8.67m ²	5.28m ²	1.01

UNIT	FAÇADE	FAÇADE	FAÇADE	UNIT #
3.02	15.21m ²		14.66m ²	3.01
2.02	14.03m ²		14.03m ²	2.01
1.02	14.03m ²	22.83m ²	14.03m ²	1.01

North Elevation	Total glazing	Total façade area	% of glazing
	40.35m ²	108.82m ²	37.08%

Unit 3.01	5.28m ²	14.66m ²	36.02%
Unit 3.02	5.28m ²	15.21m ²	34.71%
Unit 1.01, 1.02, 2.01 & 2.02	5.28m ²	14.03m ²	37.63%
Hallway	8.67m ²	22.83m ²	37.98%



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CONSENT STAMPS:

PROJECT:

PROPOSED APARTMENTS
AT 12 HOLLARD GROVE,
AVALON, LOWER HUTT
FOR URBAN PLUS

A	Resource Consent	19/09/2023	REV	COMMENT	DATE
REV	LOG COMMENT	DATE	REV	COMMENT	DATE
Geo-technical CONSULTANT:	STRUCTURAL ENGINEERING:	FIRE CONSULTANT:	ACOUSTIC ENGINEERING:	CIVIL ENGINEERING:	SERVICES:
Geotech #	Struct. Eng. #	Fire Engineer #	Acoustic Engineer #	Civil Engineer #	---

SHEET TITLE:	
Proposed - Elevations - North & East	
ISSUE DATE:	SCALE(S): (AT SHEET SIZE A3)
19/09/2023	1:100
DRAWN:	VERSION:
Giselle, B	Version 1

SHEET:

A501

REVISION:

A

STATUS:

RESOURCE CONSENT

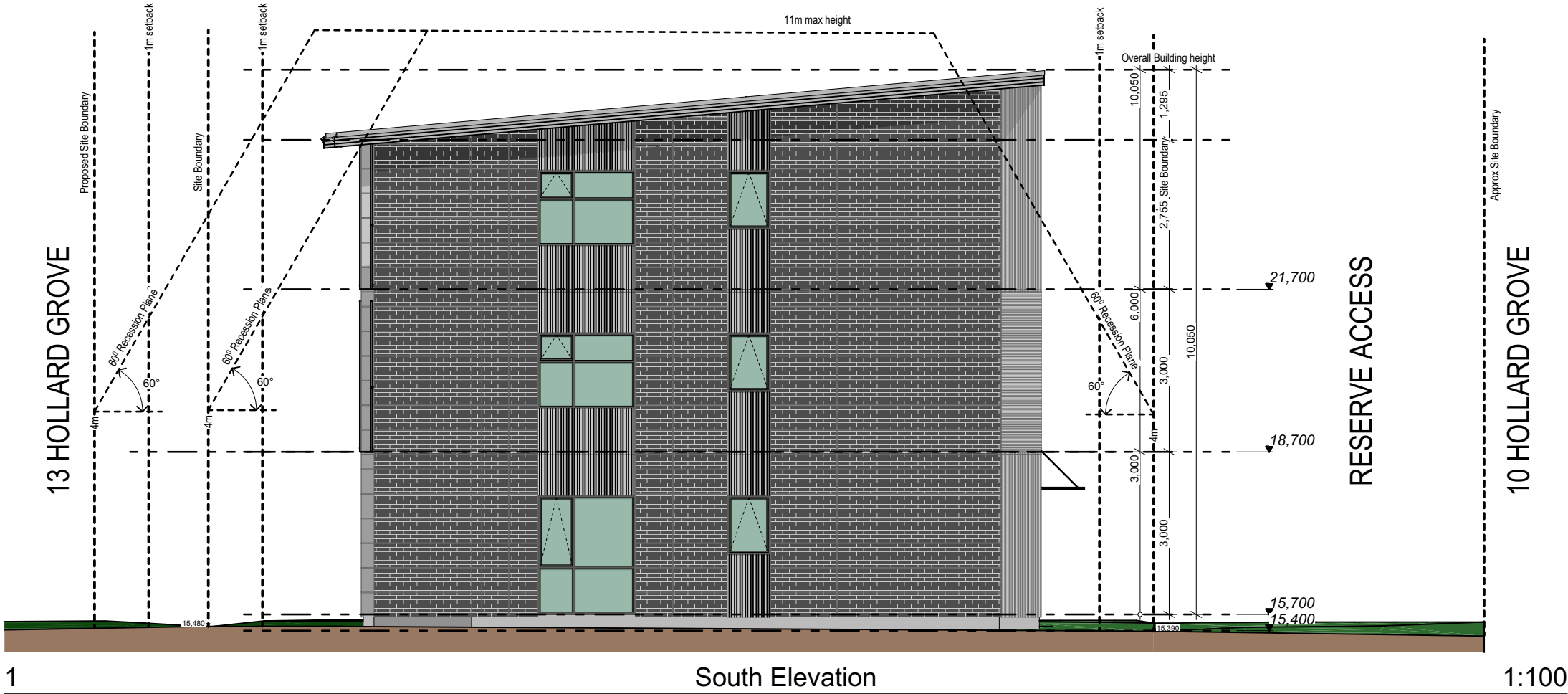
Artist impression only.
Colours and materials indicative only.
Planting suggestive.

RESOURCE CONSENT

GRANTED
20/02/2024

HUTT CITY COUNCIL





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CONSENT STAMPS:

PROJECT:

PROPOSED APARTMENTS
AT 12 HOLLARD GROVE,
AVALON, LOWER HUTT
FOR URBAN PLUS

A	Resource Consent	19/09/2023	REV	COMMENT	DATE
REV	COMMENT	DATE	REV	COMMENT	DATE
Geo-technical Consultant:	Struct. Eng. #	Fire Engineer #	Acoustic Engineering #	Civil Engineering #	SERVICES: --
Geotech #					

SHEET TITLE: Proposed - Elevations - South & West	
ISSUE DATE: 19/09/2023	SCALE(S): (AT SHEET SIZE A3) 1:100
DRAWN: Giselle, B	VERSION: Version 1

SHEET:
A502

REVISION:
A

STATUS:
RESOURCE CONSENT

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Planting suggestive.



Indicative Material Palette

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